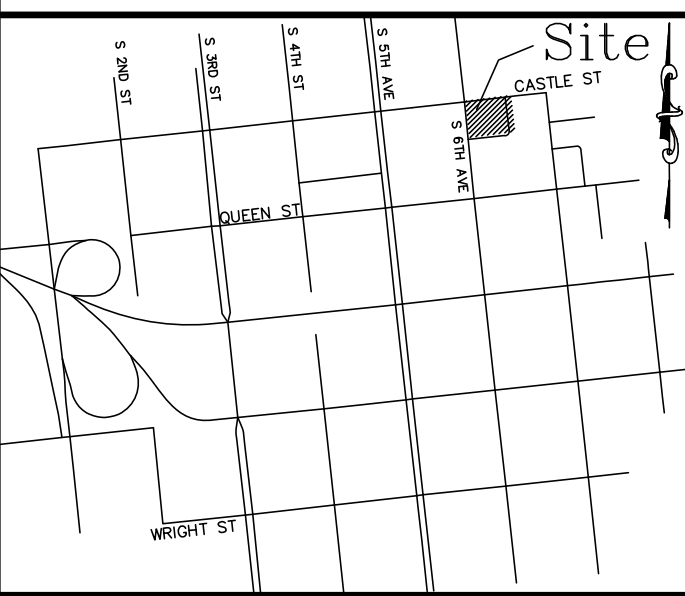


LOCATION MAP



CONSTRUCTION DRAWINGS for
THE 606
 LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

GENERAL NOTES:

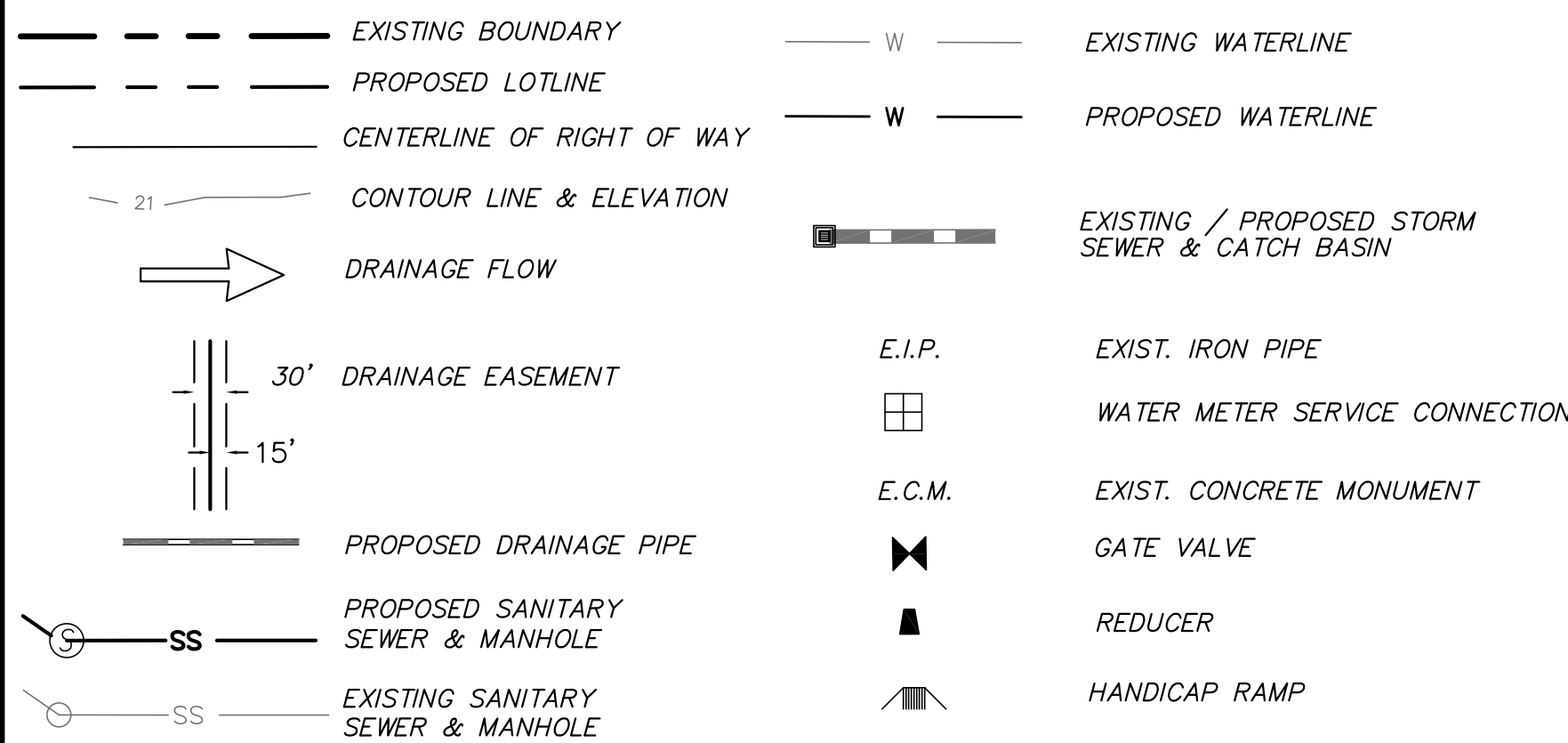
- NEW HANOVER COUNTY PARCEL NUMBERS:
 PID R05409-011-029-000, R05409-011-028-000,
 R05409-011-027-000, R05409-011-003-000,
 R05409-011-030-000, R05409-011-001-000
- TRACT 1, 2 & 7 DB 6257 PC 203
- TOTAL PROJECT AREA: 32,170 SF (0.74 AC)
- EXISTING ZONING DISTRICT: UMX
- CAMA LAND CLASSIFICATION: URBAN
- THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720312700K, EFFECTIVE DATE 8/28/18
- SITE ADDRESS: 604, 606 & 606 1/2 CASTLE STREET
- BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY HANOVER DESIGN SERVICES; VERTICAL DATUM = 88
- NO WETLANDS LOCATED ONSITE
- STORMWATER DRAINS TO NE CAPE FEAR RIVER, SC;SW 18-74-(6)
- LAND OWNER - RCG CASTLE STREET LLC
 17 IVALOO STREET SUITE 100
 SUMMERVILLE, MA 02143



INDEX TO DRAWINGS

SHEET No.	DESCRIPTION	DRAWING No.
1 OF 11	COVER SHEET	CD_COVER
2 OF 11	EXISTING CONDITIONS	EX-COND
3 OF 11	DEMO	DEMO
4 OF 11	SITE PLAN	SITE_PLAN
5 OF 11	LANDSCAPE PLAN	LP
6 OF 11	STORMWATER PLAN	SW
7 OF 11	STORMWATER DETAILS	SW_DET
8 OF 11	SITE DETAILS	SITE_DETAILS_1
9 OF 11	SITE DETAILS	SITE_DETAILS_2
10 OF 11	CFPUA DETAILS	CFPUA_DETAILS
11 OF 11	CFPUA DETAILS	CFPUA_DETAILS

LEGEND



OWNER:
 RCG CASTLE STREET LLC
 17 IVALOO STREET SUITE 100
 SUMMERVILLE, MA 02143

NOTES:

- ASBUILT, BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY TO CSD ENGINEERING BY PARAMOUNT ENGINEERING; AND BATEMAN CIVIL SERVICES, VERTICAL DATUM = 88
- THIS MAP IS NOT FOR CONVEYANCE, RECORDATION, OR SALES.
- THIS PROPERTY IS LOCATED WITHIN ZONE "X" ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, 3720311800L, EFFECTIVE DATE 8/28/18
- EXISTING ZONING: CBD
- CFPUA WATER
- CFPUA SEWER
- ALL CONSTRUCTION TO CONFORM TO CITY OF WILMINGTON STANDARDS AND APPLICABLE STATE & LOCAL CODES.
- CONTRACTOR TO COORDINATE ANY REQUIRED TRAFFIC CONTROL WITH CITY OF WILMINGTON AND OR NCDOT.
- CARE SHALL BE TAKEN DURING FINAL GRADING TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO RECEIVING STRUCTURES. ROOF DRAIN DOWNSPOUTS TO BE CONNECTED TO STORM DRAINAGE STUBOUTS OR DIRECTED TO STREET/PARKING AREAS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY RELOCATIONS, RE-ALIGNMENTS, DISCONNECTIONS OR CONNECTIONS OF EXISTING UTILITIES WITH APPLICABLE AUTHORITIES.
- CLEARING AND GRUBBING OF SITE TO INCLUDE REMOVAL OF EXISTING CURB, ASPHALT, INLETS, AND ANY OTHER STRUCTURES INCLUDING TREES, STUMPS AND DEBRIS EXISTING ON SITE. TREES NOT REQUIRED TO BE CLEARED FOR CONSTRUCTION SHALL REMAIN UNLESS OTHERWISE DIRECTED.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NO ONE-CALL" AT LEAST 72 HOURS BEFORE COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST AND EROSION DURING CONSTRUCTION AT HIS EXPENSE. PARKING AREAS SHALL BE WATERED TO CONTROL DUST WHEN ORDERED BY THE ENGINEER.
- NO GEOTECHNICAL TESTING HAS BEEN PERFORMED ON SITE. NO WARRANTY IS MADE FOR SUITABILITY OF SUBGRADE, AND UNDERCUT AND ANY REQUIRED REPLACEMENT WITH SUITABLE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO ENSURE THAT PAVEMENT IS PLACED SO AS TO DRAIN POSITIVELY TO THE STREET INLETS AND CATCH BASINS. ALL FUTURE ROOF DRAIN DOWNSPOUTS TO BE DIRECTED TO THE STORM DRAINAGE STUBOUTS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- THIS PLAN IS FOR SITE GRADING, UTILITIES, SITING, AND DRAINAGE ONLY. SEE BUILDING PLANS FOR DETAILED HOOKUPS TO BUILDINGS, ETC.
- CONTRACTOR AND BUILDER ARE RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATION OF ALL BUILDINGS WITH THE OWNER. ELEVATIONS GIVEN ARE MINIMUM GROUND ELEVATIONS AT THE BUILDING SITE AND DO NOT PURPORT TO BE FINISHED FLOOR. MINIMUM RECOMMENDED FF ELEVATIONS SHOWN ON PLANS.
- AFFECTED NON-MUNICIPAL UTILITIES SHALL BE CONTACTED AND PROVIDED WITH PLANS AND OTHER PERTINENT INFORMATION, WHEN FEASIBLE, TO COORDINATE APPROPRIATE SCHEDULING AND PLACEMENT.
- EXTREME CARE SHALL BE TAKEN TO ENSURE MINIMUM SEPARATIONS AT ALL UTILITY CROSSINGS.
- MINIMUM SEPARATION SHALL BE MAINTAINED AS FOLLOWS:
 - HORIZONTAL SEPARATION OF 10 FEET BETWEEN SANITARY SEWER AND WATER MAINS AND STORM SEWER.
 - WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND WATER OR WHERE SEWER LINE CROSSES ABOVE WATER MAIN, BOTH PIPES SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING.
 - WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10 FEET EITHER SIDE OF CROSSING.
 - WHERE VERTICAL CLEARANCE IS LESS THAN 12" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING, AND BRIDGING SHALL BE INSTALLED PER APPLICABLE UTILITY AUTHORITY'S DETAILS.
 - IN NO CASE SHALL THERE BE LESS THAN 18" OF SEPARATION BETWEEN OUTSIDE OF WATER MAIN AND OUTSIDE OF SEWER OR STORM DRAINAGE.
 - MINIMUM COVER OF 36" SHALL BE PROVIDED FOR ALL BURIED WATER MAINS AND SANITARY SEWER MAINS.
- SEE DETAIL SHEETS FOR TYPICAL UTILITIES HOOKUPS.
- ALL SANITARY SEWER MAINS TO BE 8" UNLESS OTHERWISE INDICATED.
- ALL WATER MAINS TO BE 8" UNLESS OTHERWISE INDICATED.
- TWO VALVES ARE REQUIRED AT "T" INTERSECTIONS AND ONE VALVE ON THE WATER LINE TO FIRE HYDRANTS.
- A BLOW-OFF VALVE IS REQUIRED AT THE TERMINUS OF ALL "DEAD END" WATER LINES.



LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

COVER SHEET
THE 606

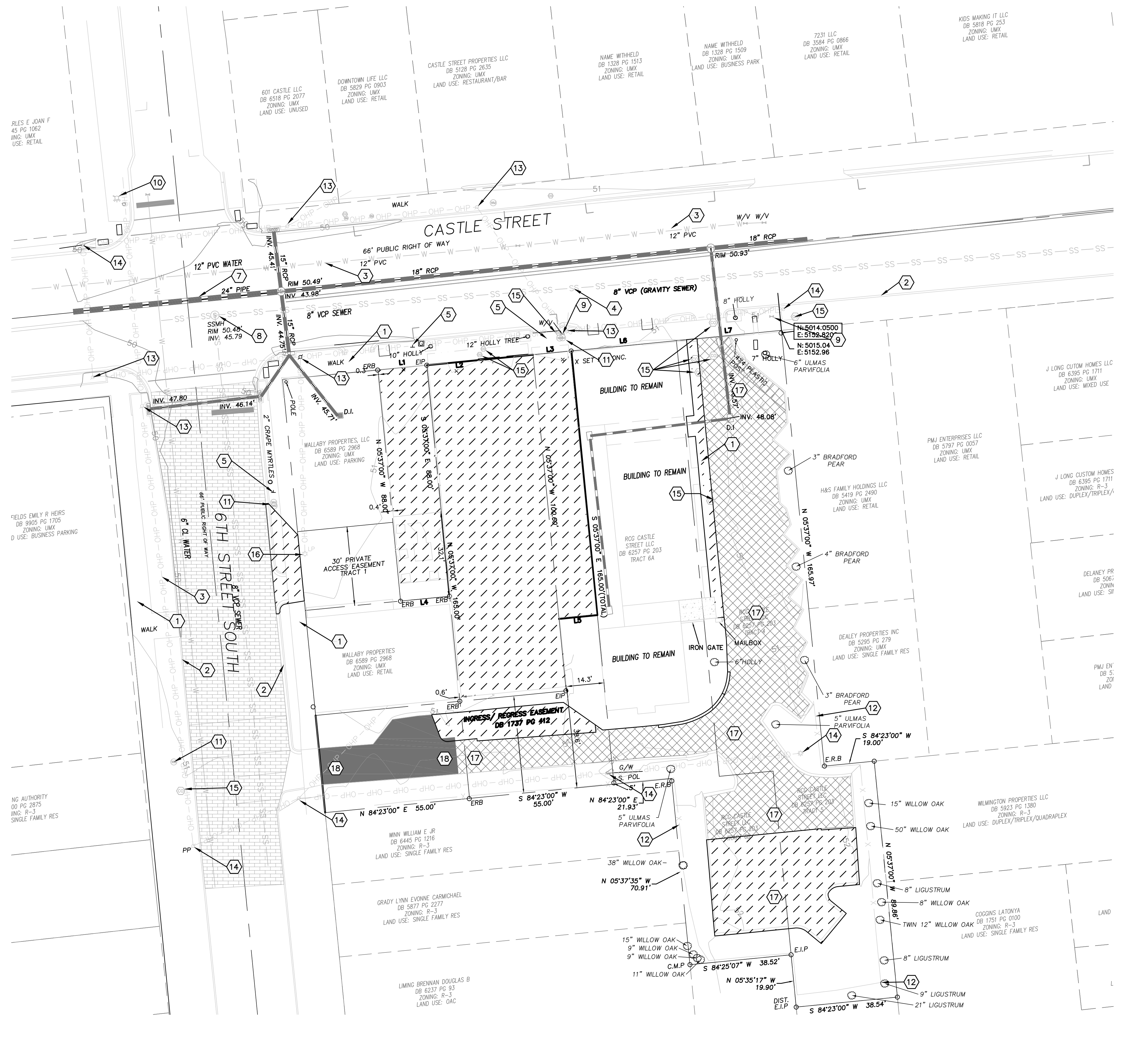
COVER SHEET
THE 606
 LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: RCG CASTLE STREET LLC
 17 IVALOO STREET SUITE 100
 SUMMERVILLE, MA 02143

PRELIMINARY

REV. NO.	DATE	BY	REMARKS
2	10-5-22	RLW	REVISION FOR IFC COMMENTS
1	11-29-22	RLW	REVISION FOR IFC COMMENTS

DATE: 10-5-22
 HORZ. SCALE: 1" = 200'
 VERT. SCALE: N/A
 DRAWN BY: RLW
 CHECKED BY: HSR
 PROJECT NO.: 22-0625



GENERAL NOTES:

1. NEW HANOVER COUNTY PARCEL NUMBERS:
PID R05409-011-029-000, R05409-011-028-000,
R05409-011-027-000, R05409-011-003-000,
R05409-011-030-000, R05409-011-001-000
2. TRACT 1, 2 & 7 DB 6257 PG 203
3. TOTAL PROJECT AREA: 32,170 SF (0.74 AC)
4. EXISTING ZONING DISTRICT: UMX
5. CAMA LAND CLASSIFICATION: URBAN
6. THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720312700K, EFFECTIVE DATE 8/28/18
7. SITE ADDRESS: 604, 606 & 606 1/2 CASTLE STREET
8. BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY HANOVER DESIGN SERVICES; VERTICAL DATUM = 88
9. NO WETLANDS LOCATED ONSITE
10. STORMWATER DRAINS TO NE CAPE FEAR RIVER, SC;SW 18-74-(61)
- LAND OWNER - RCG CASTLE STREET LLC
17 IVALOO STREET SUITE 100
SUMMERVILLE, MA 02143

TREE SAVE/REMOVE:

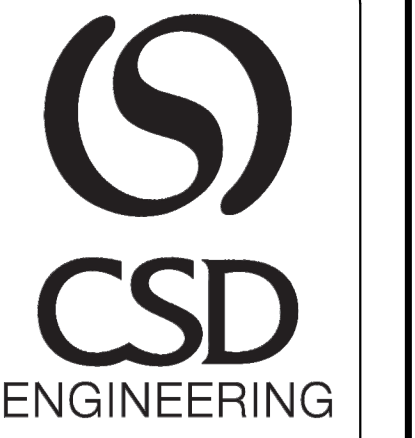
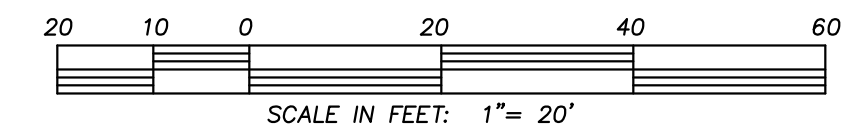
- | | |
|------------------------------|------------------------------|
| 1. TREE SAVE: | 2. TREE REMOVE: |
| TREE 1: 6" ULMAS PARVIFOLIA | TREE 9: 8" LIGUSTRUM |
| TREE 2: 3" BRADFORD PEAR | TREE 10: 8" WILLOW OAK |
| TREE 3: 4" BRADFORD PEAR | TREE 11: TWIN 12" WILLOW OAK |
| TREE 4: 3" BRADFORD PEAR | |
| TREE 5: 5" ULMAS PARVIFOLIA | |
| TREE 6: 6" HOLLY | |
| TREE 7: 15" WILLOW OAK | |
| TREE 8: 50" WILLOW OAK | |
| TREE 12: 8" LIGUSTRUM | |
| TREE 13: 9" LIGUSTRUM | |
| TREE 14: 21" LIGUSTRUM | |
| TREE 15: 11" WILLOW OAK | |
| TREE 16: 9" WILLOW OAK | |
| TREE 17: 9" WILLOW OAK | |
| TREE 18: 15" WILLOW OAK | |
| TREE 19: 38" WILLOW OAK | |
| TREE 20: 5" ULMAS PARVIFOLIA | |

KEYNOTES:

- 1 EXISTING SIDEWALK
- 2 EXISTING CURB AND GUTTER
- 3 EXISTING WATER
- 4 EXISTING SEWER
- 5 EXISTING STREET SIGN
- 6 EXISTING STREET POLE
- 7 EXISTING STORM DRAIN
- 8 EXISTING MANHOLE
- 9 EXISTING WATER VALVE
- 10 EXISTING FIRE HYDRANT
- 11 EXISTING WATER METER
- 12 EXISTING FENCE TO BE DEMOED
- 13 EXISTING STREET LIGHT
- 14 EXISTING POWER POLE
- 15 EXISTING SEWER CLEANOUT
- 16 EXISTING POLE TO BE MOVED
- 17 EXISTING PERVIOUS CONCRETE
- 18 EXISTING ASPHALT

LEGEND

- - - EXISTING BOUNDARY
- W - EXISTING WATER
- SS - EXISTING SEWER
- P - EXISTING POWER POLE
- H - EXISTING FIRE HYDRANT
- M - EXISTING STORM WATER MANHOLE
- S - EXISTING SANITARY SEWER MANHOLE
- G - EXISTING GAS VALVE
- V - EXISTING WATER VALVE
- C - EXISTING CONTOUR
- D - EXISTING STORM DRAIN
- / - EXISTING TO BE DEMOED
- A - EXISTING ASPHALT TO REMAIN



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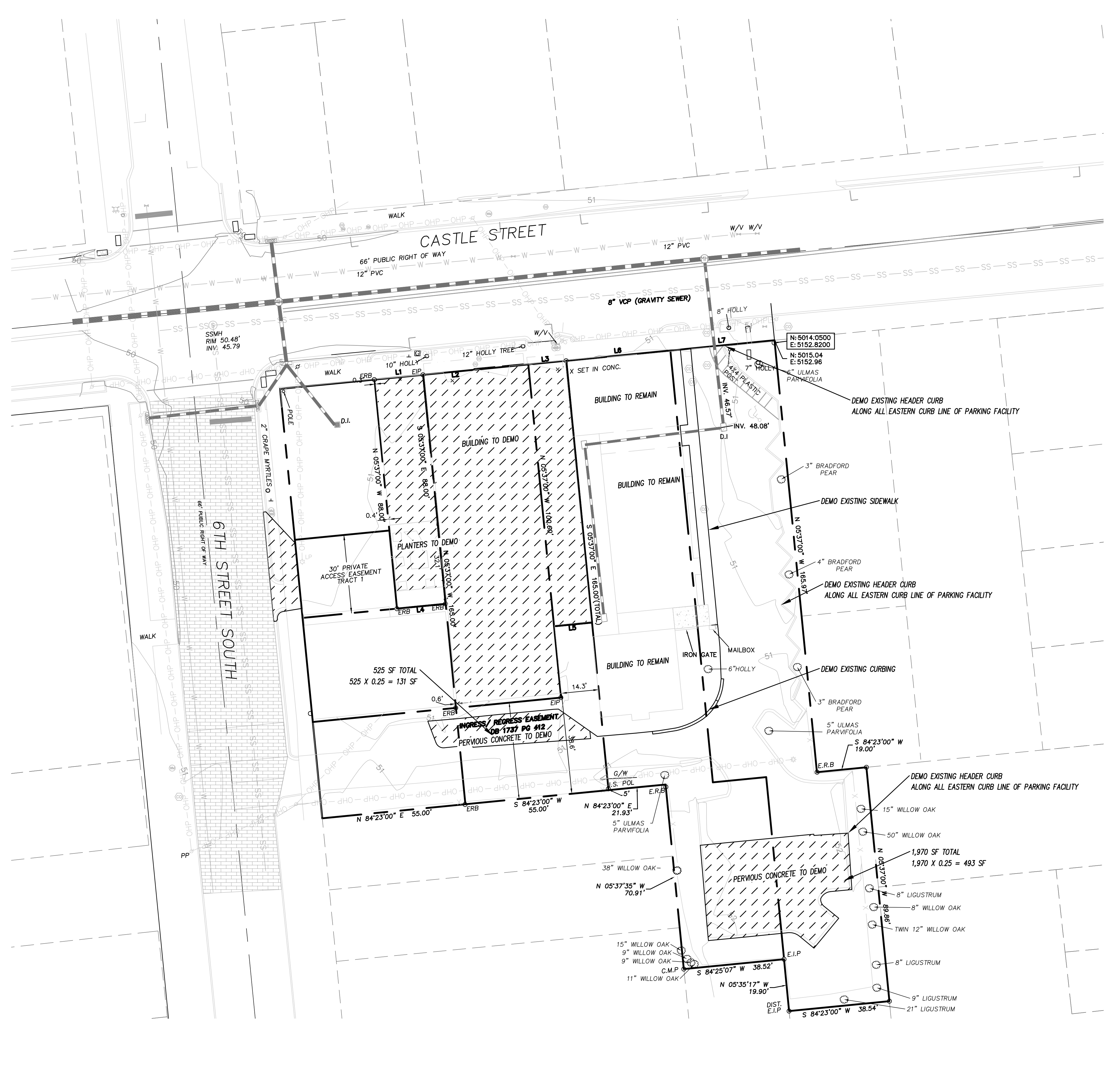
EXISTING CONDITIONS
THE 606

EXISTING CONDITIONS
THE 606
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA
OWNER: RCG CASTLE STREET LLC
17 IVALOO STREET SUITE 100
SUMMERVILLE, MA 02143

PRELIMINARY

REV. NO.	DATE	BY	REMARKS
1	4-12-23	RLW	REVISED PER TRC COMMENTS
2	5-1-23	RLW	REVISED PER TRC COMMENTS
1	11-29-22	RLW	REVISED PER TRC COMMENTS

DATE: 10-5-22
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 22-0625



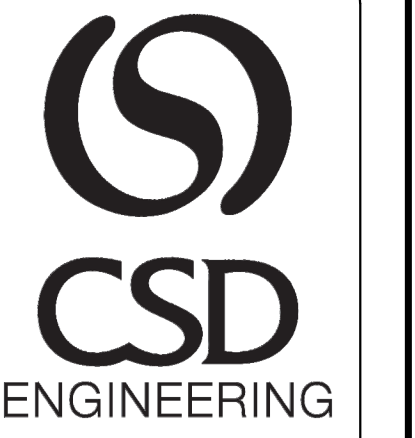
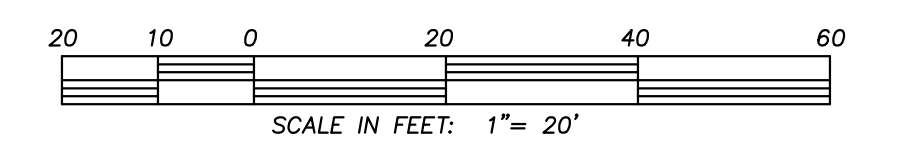
GENERAL NOTES:

1. NEW HANOVER COUNTY PARCEL NUMBERS:
PID R05409-011-029-000, R05409-011-028-000,
R05409-011-027-000, R05409-011-003-000,
R05409-011-030-000, R05409-011-001-000
2. TRACT 1, 2 & 7 DB 6257 PG 203
3. TOTAL PROJECT AREA: 35,364 SF (0.81 AC)
4. EXISTING ZONING DISTRICT: UMX
5. CAMA LAND CLASSIFICATION: URBAN
6. THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720312700K, EFFECTIVE DATE 8/28/18
7. SITE ADDRESS: 604, 606 & 606 1/2 CASTLE STREET
8. BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY HANOVER DESIGN SERVICES; VERTICAL DATUM = 88
9. NO WETLANDS LOCATED ONSITE
10. STORMWATER DRAINS TO NE CAPE FEAR RIVER, SC; SW

BUILDING	=	7,421 SF
ASPHALT	=	0 SF
*PERVIOUS CONCRETE (2,495)	=	624 SF
SIDEWALK	=	420 SF
TOTAL:	=	8,465 SF

LEGEND

- EXISTING BOUNDARY
- W- EXISTING WATER
- SS- EXISTING SEWER
- P- EXISTING POWER POLE
- + EXISTING FIRE HYDRANT
- o EXISTING STORM WATER MANHOLE
- o EXISTING SANITARY SEWER MANHOLE
- o EXISTING GAS VALVE
- o EXISTING WATER VALVE
- - - EXISTING CONTOUR
- - - EXISTING STORM DRAIN
- ▨ EXISTING TO BE DEMOED



LICENSE # C-2710
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DEMO THE 606

NO ASSURANCE IS MADE BY THE ENGINEER AS TO THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE DRAWINGS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THE DRAWINGS.

DEMO THE 606
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: RCG CASTLE STREET LLC
17 IVALOO STREET SUITE 100
SUMMERVILLE, MA 02143

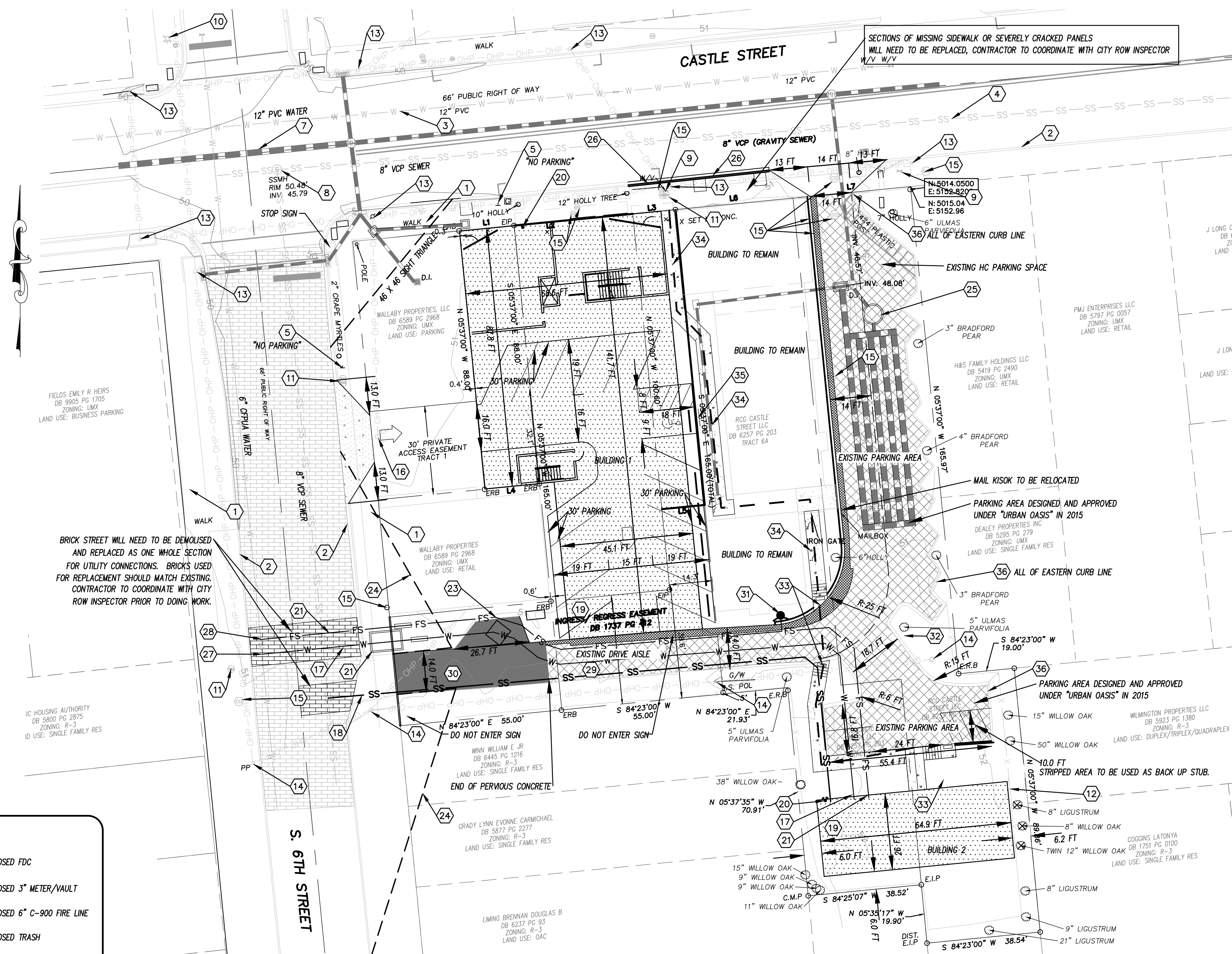
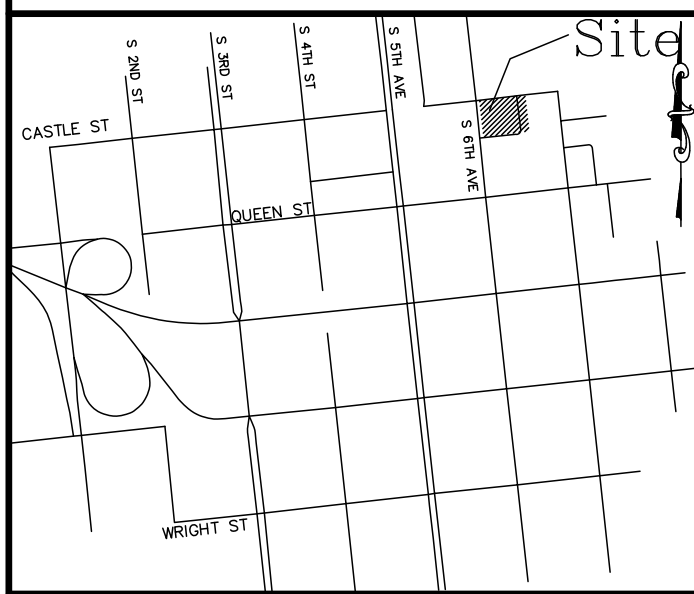
PRELIMINARY

REV. NO.	BY	DATE	REMARKS
3	RLW	4-12-23	REVISED PER IRC COMMENTS
2	RLW	3-17-23	REVISED PER IRC COMMENTS
1	RLW	11-29-22	REVISED PER PRE-IRC COMMENTS

DATE: 10-5-22
HORIZ. SCALE: 1" = 20'
VERT. SCALE: N/A

DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 22-0625

LOCATION MAP



DEVELOPMENT NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL U-LOCO AT 1-800-632-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB AND GUTTER, SIDEWALK PANELS, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
- SOLID WASTE DISPOSAL WILL BE TRASH DUMPSTER SERVICE.
- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON ZONING ORDINANCE & SUBDIVISION REGULATIONS.
- APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF PROPOSED SIGNAGE FOR THIS SITE. A SEPARATE SIGN PERMIT MUST BE OBTAINED.
- APPLICABLE STREET FRONTAGES SHALL HAVE NATURAL VEGETATIVE SCREENING MEETING CITY REQUIREMENTS.
- THE DEVELOPMENT SHALL COMPLY WITH ALL CITY TECHNICAL STANDARDS AND DEVELOPMENT REGULATIONS.

ENVIRONMENTAL NOTES:

- NO LAND DISTURBANCE IS PERMITTED OUTSIDE THE DESIGNATED LIMITS OF DISTURBANCE FOR SITE IMPROVEMENTS OTHER THAN WHAT IS NECESSARY TO TIE INTO EXISTING CONTOURS OR MEET LANDSCAPING REQUIREMENTS.

PARKING NOTES:

- NO PARKING REQUIRED FOR UMX ZONING
21 SPACES PROVIDED: 2 HANDICAPS PROVIDED

TRAFFIC ENGINEERING NOTES:

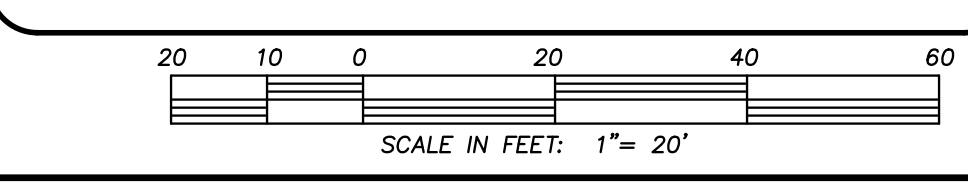
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO RECORDING OF THE FINAL PLAT. PLAN SHALL ADHERE TO SD 15-14.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- OPEN CUT NOTES:
 - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-8889 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
 - CONTRACTOR TO COORDINATE WITH CITY OF WILMINGTON FOR ACCEPTABLE HOURS OF CONSTRUCTION AND TRAFFIC CONTROL DURING INSTALLATION OF UTILITIES IN CITY ROADS.
 - SUITABLE COMPACTION AND APPROVED STONE & BASE COURSES TO BE INSTALLED IN PLACE OF OPEN CUT.
 - OPEN CUT TO BE SAW CUT.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBS WILL BE REPLACED.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30 INCHES TO 10 FT.
- ANY REQUIRED INSTALLATION OR RELOCATION OF TRAFFIC SIGNS/PAVEMENTS MARKINGS IS THE RESPONSIBILITY OF THE PROJECT DEVELOPER. PLEASE COORDINATE WITH CITY TRAFFIC SIGNS AND PAVEMENT MARKINGS MANAGER/SUPERVISOR PRIOR TO INSTALLATION /RELOCATION OF ANY TRAFFIC SIGNS OR MARKING IN EXISTING OR PROPOSED PUBLIC ROW.

UTILITY NOTES:

- PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND CPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE SET AND ACTIVATED ON NEW MAINS UNTIL ALL REQUIREMENTS ARE MET. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE/SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ALL COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CPWA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE CPWA AND APPROVED BY USDOCCORR OR ASSE. CALL 799-0864 FOR INFORMATION.
- ALL TRACER WIRE FOR UTILITY IMPROVEMENTS TO BE INSTALLED PER CPWA STANDARD SPECIFICATION SECTION 33-01-12.
- 36" MINIMUM COVER OVER ALL WATER MAINS.
- ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND CPWA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
- AT LOCATIONS WHERE WATER MAIN CROSSES UNDER SANITARY SEWER, DUCTILE IRON PIPE SHALL BE USED ALONG WITH PROVIDING 24" MINIMUM OF VERTICAL SEPARATION.
- WATER SERVICES CAN NOT BE ACTIVATED ON NEW WATER MAINS UNTIL ENGINEER'S CERTIFICATION AND APPLICANT'S CERTIFICATION HAVE BEEN PROVIDED TO NCDENR AND "FINAL APPROVAL" ISSUED.
- UNDERGROUND UTILITIES- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.
- CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN THE ROW.

TREE SAVE/REMOVE:

REVISED PER TRC COMMENTS	REVISED PER TRC COMMENTS	REV. NO.	DATE
1	2		
3	1		
2	1		



LEGEND

- EXISTING BOUNDARY
- EXISTING WATER
- EXISTING SEWER
- EXISTING CONTOUR
- EXISTING STORM DRAIN
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED BUILDING
- EXISTING PERVIOUS CONCRETE
- EXISTING ASPHALT
- EXISTING BRICK STREET
- PROPOSED BRICK REPAIR
- PROPOSED PERVIOUS CONCRETE
- PROPOSED ADA ROUTE

KEYNOTES:

- | | |
|---|---|
| 1 EXISTING SIDEWALK | 20 PROPOSED FDC |
| 2 EXISTING CURB AND GUTTER | 21 PROPOSED 3" METER/VAULT |
| 3 EXISTING WATER | 22 PROPOSED 6" C-900 FIRE LINE |
| 4 EXISTING SEWER | 23 PROPOSED TRASH |
| 5 EXISTING STREET SIGN | 24 20 X 70 SIGHT TRIANGLE |
| 6 EXISTING "DO NOT ENTER SIGN" | 25 PROP. CONTECH STORMFILTER |
| 7 EXISTING STORM DRAIN | 26 CLOSE EXISTING DRIVEWAY CUT |
| 8 EXISTING MANHOLE | 27 6" X 4" T.V.S |
| 9 EXISTING WATER VALVE | 28 6" X 6" CUT IN TEE |
| 10 EXISTING FIRE HYDRANT | 29 EXISTING PERVIOUS DRIVE AISLE |
| 11 EXISTING WATER METER | 30 EXISTING ASPHALT DRIVE AISLE |
| 12 EXISTING FENCE TO REMAIN | 31 PROP. FIRE HYDRANT |
| 13 EXISTING STREET LIGHT | 32 PROP. "LEFT TURN ONLY" SIGN |
| 14 EXISTING POWER POLE | 33 ADA RAMP |
| 15 EXISTING SEWER CLEANOUT | 34 PROP. SIDEWALK |
| 16 EXISTING POLE TO BE MOVED | 35 ADA SIGN |
| 17 PROPOSED 4" C-900 WATER LINE | 36 DEMO HEADER CURB, REPLACE WITH 6" HIGH BACK CURBIN |
| 18 PROPOSED SEWER LATERAL | |
| 19 INTERIOR FIRE AND DOMESTIC BACKFLOWS | |

GENERAL NOTES:

- NEW HANOVER COUNTY PARCEL NUMBERS:
PID R05409-011-029-000, R05409-011-028-000, R05409-011-027-000, R05409-011-003-000, R05409-011-030-000, R05409-011-001-000
- TRACT 1, 2 & 7 PAR 8257 PG 203
- TOTAL PROJECT AREA: 32,170 SF (0.74 AC)
- EXISTING ZONING DISTRICT: UMX
- CAMA LAND CLASSIFICATION: URBAN
- THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 3720312700K, EFFECTIVE DATE 8/28/18
7. SITE ADDRESS: 604, 606 & 606 1/2 CASTLE STREET
- BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY HANOVER DESIGN SERVICES; VERTICAL DATUM = 88
- NO WETLANDS LOCATED ON SITE
- STORMWATER DRAINS TO NE CAPE FEAR RIVER, S; SW 18-74-(61)
- LAND OWNER - RCG CASTLE STREET LLC
17 WALDO STREET SUITE 100
SUMMERVILLE, WA 02143

SITE LIGHTING

- ALL SITE LIGHTS SHALL BE LOCATED, ANGLED AND/OR LIMITED SO AS TO NOT CAST DIRECT LIGHT UPON ADJACENT PROPERTIES. SHALL MINIMIZE OFF SITE BACKLIGHTING GLARE AND UP LIGHTING. LIGHT POST SHALL BE NO TALLER THAN 12 FT.

TRIP ESTIMATION

MULTIFAMILY: 30 UNITS (LOW-RISE) - LUC 220
AM PEAK = ENTER 3, EXIT 9 PM PEAK = ENTER 10, EXIT 5
STRIP RETAIL: 1,140 SF - LUC 822
AM PEAK = ENTER 2, EXIT 1 PM PEAK = ENTER 4, EXIT 4

SITE & BUILDING DATA:

TOTAL LOT AREA = 32,170 SF (0.74 AC)	
EXISTING IMPERVIOUS:	
BUILDING	= 12,034 SF
ASPHALT	= 901 SF
*PERVIOUS CONCRETE (9,526)	= 2,382 SF
SIDEWALK	= 560 SF
TOTAL:	= 15,877 SF
EXISTING IMPERVIOUS FOR DEMO:	
BUILDING	= 7,421 SF
ASPHALT	= 0 SF
*PERVIOUS CONCRETE (2,495)	= 624 SF
SIDEWALK	= 420 SF
TOTAL:	= 8,465 SF
PROPOSED IMPERVIOUS:	
EXISTING BUILDING	= 4,613 SF
EXISTING ASPHALT DRIVE	= 901 SF
*EXISTING PERVIOUS (7,036)	= 1,759 SF
EXISTING SIDEWALK	= 140 SF
PROP BUILDING	= 10,171 SF
PROP SIDEWALK	= 1,182 SF
PROP PARKING	= 443 SF
*PROP PERVIOUS (519)	= 130 SF
TOTAL:	= 19,339 SF
19,339 / 32,170 = 0.60 OR 60% IMPERVIOUS	

FIRE & LIFE SAFETY NOTES:

- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3 FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE FIRE LINE PERMIT FROM COW FIRE AND LIFE SAFETY DIVISION, 910-343-0696.
- ALL FDC LOCATIONS TO BE SHOWN ON FINAL PLAN.
- FDC MUST BE ON THE FRONT OF THE BUILDING(S) UNLESS OTHERWISE APPROVED.
- FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CPWA STANDARDS.
- WATER FLOW ANALYSIS WILL BE REQUIRED TO DETERMINE THE CORRECT MAIN SIZE TO MEET FIRE FLOW DEMAND.
- NEW HYDRANTS TO BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- HYDRANT MUST BE WITHIN 150 FT OF THE FDC (MEASURED AS THE TRUCK DRIVES).
- FDC MUST BE WITHIN 40 FT OF FIRE APPARATUS PLACEMENT.
- IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- CONTRACTOR SHALL SUBMIT A RADIO STRENGTH STUDY FOR ALL MULTI-STORY COMMERCIAL BUILDINGS AND ALL SINGLE STORY COMMERCIAL BUILDINGS EXCEEDING 7,500 SF THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- FIRE INSTALLATION TO MEET NFPA 24
- ALL ISOLATION VALVES WITHIN THE HOT BOX AND BETWEEN THE HOT BOX AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.
- STANDPIPES WILL BE REQUIRED.

CSD ENGINEERING
LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL
P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

SITE PLAN
THE 606

LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA
OWNER: RCG CASTLE STREET LLC
17 WALDO STREET SUITE 100
SUMMERVILLE, WA 02143

PRELIMINARY

REV. NO.	DATE	REVISION
1	10-5-22	DATE
2	10-5-22	DATE
3	10-5-22	DATE
4	10-5-22	DATE

DATE: 10-5-22
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 22-0625

- No plantings over thirty (30) inches in height allowed in vision clearance.
- Protection from vehicular traffic provided around all landscaping with a minimum height of six (6) inches.
- Owner is responsible for maintenance to ensure plant material lives and prospers.
- Planting plans shall be approved by Landscape Designer prior to installation.
- Landscaping shall be required at the ends of all parking rows.
- A low buffer shall be required where parking is within fifty (50) feet of the Right-of-Way.
- Landscaped islands shall be a minimum width of twelve (12) feet (back of curb to back of curb) and a minimum of two hundred and sixteen (216) square feet.
- A minimum of fifteen (15) trees 2 inches or greater in diameter as measured 6 inches above ground per disturbed acre.
- For recommended Plant List see "Landscape" T-10.4.

STANDARD DETAIL
LANDSCAPE NOTES

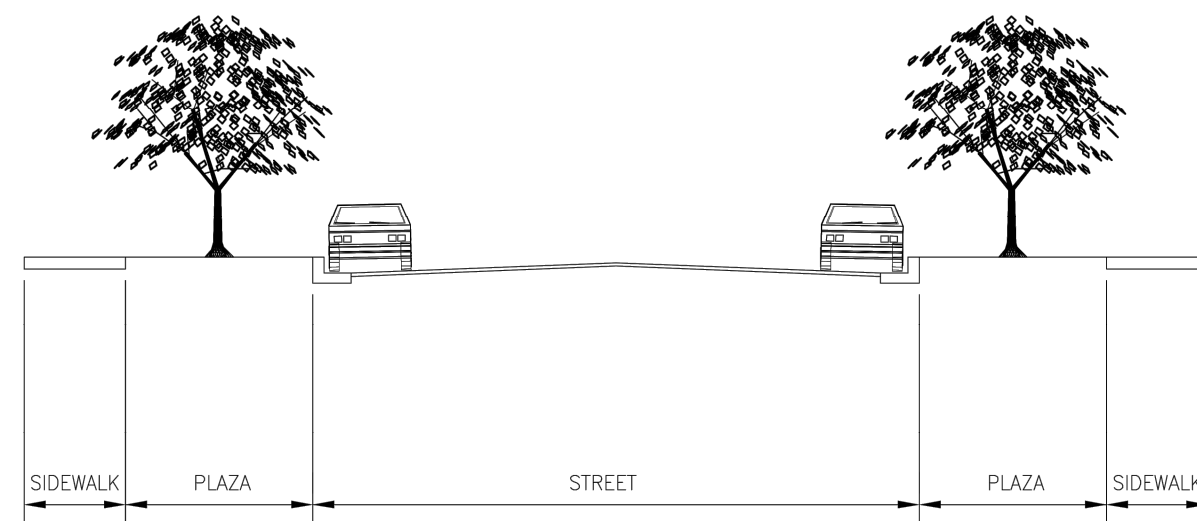
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DRAWN BY: JSR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

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NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 15-14

RESIDENTIAL STREET TREE STANDARDS

- Street trees shall be installed along residential streets after all driveways have been installed.
- The developer shall notify Landscape Designer prior to installation to ensure proper tree selection and spacing.
- Each tree shall be a minimum of two (2) caliper inches.
- Phasing of a project shall be permitted, however, Street Trees on the same block shall be planted at the same time to avoid size irregularities.
- Trees within the same block shall be the same species.



RECOMMENDED STREET TREE SPACING ACCORDING TO PLAZA WIDTHS

PLAZA WIDTH	RECOMMENDED TREE SPACING	EXAMPLE SPECIES
4'-6"	25'-30'	ex. CREPE MYRTLE, HOLLY
6'-8"	35'-40'	ex. JAPANESE MAPLE, ZELKOVA
GREATER THAN 8'	50'	ex. DARLINGTON OAK, RED MAPLE

STANDARD DETAIL
RESIDENTIAL STREET TREE STANDARDS

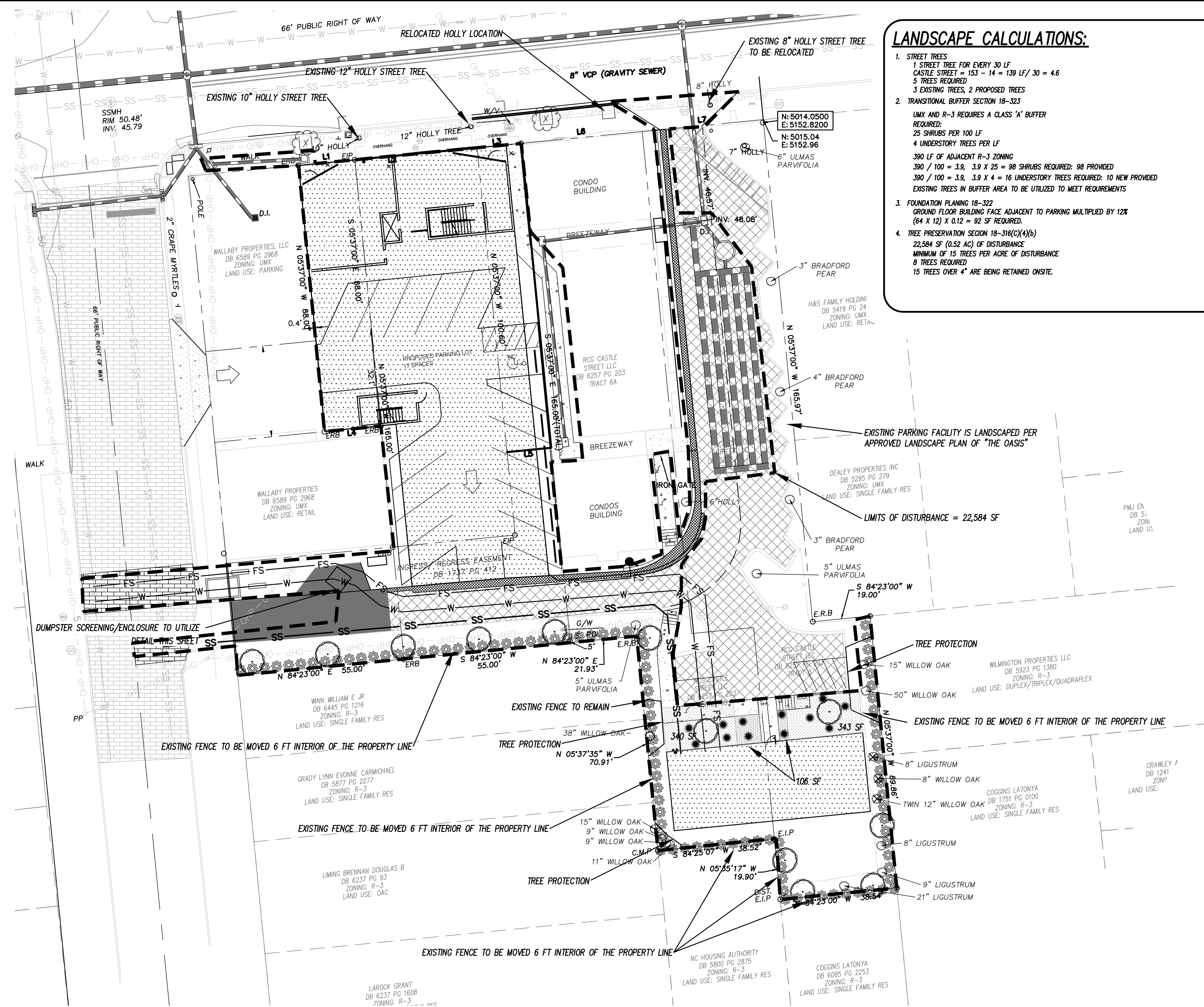
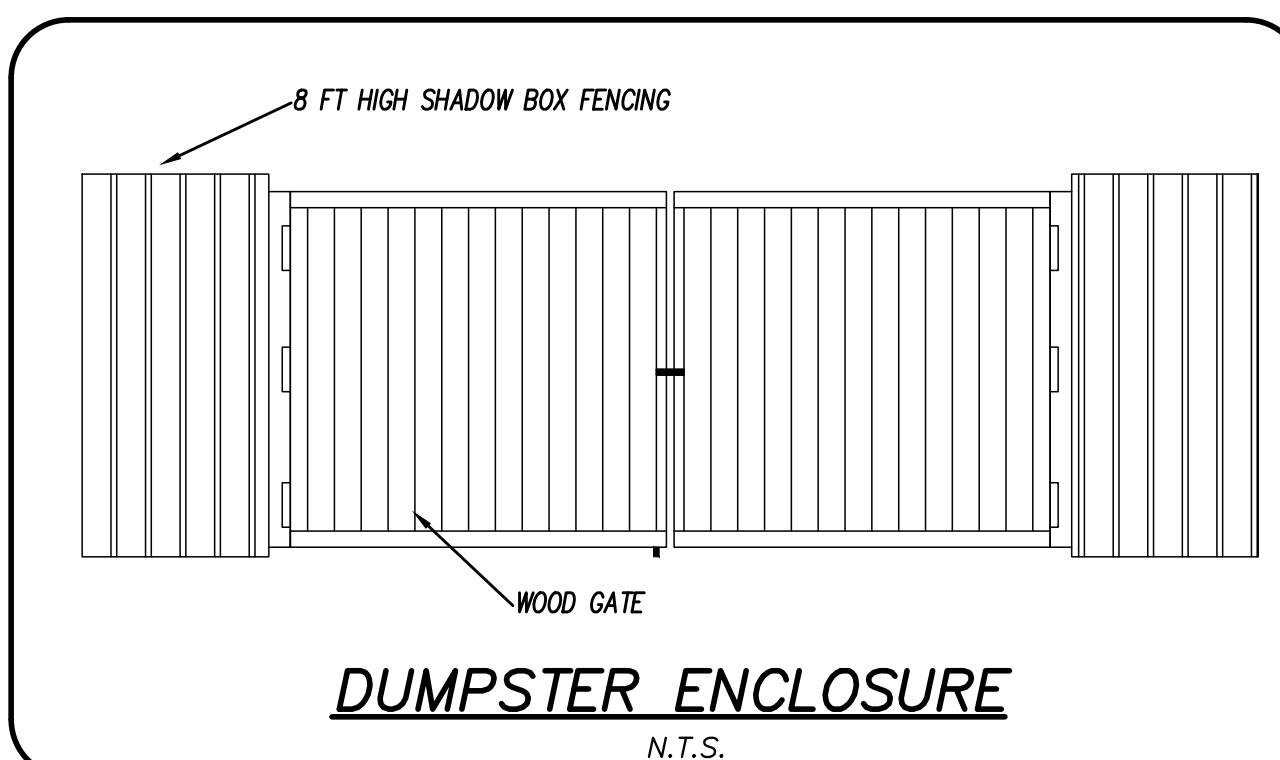
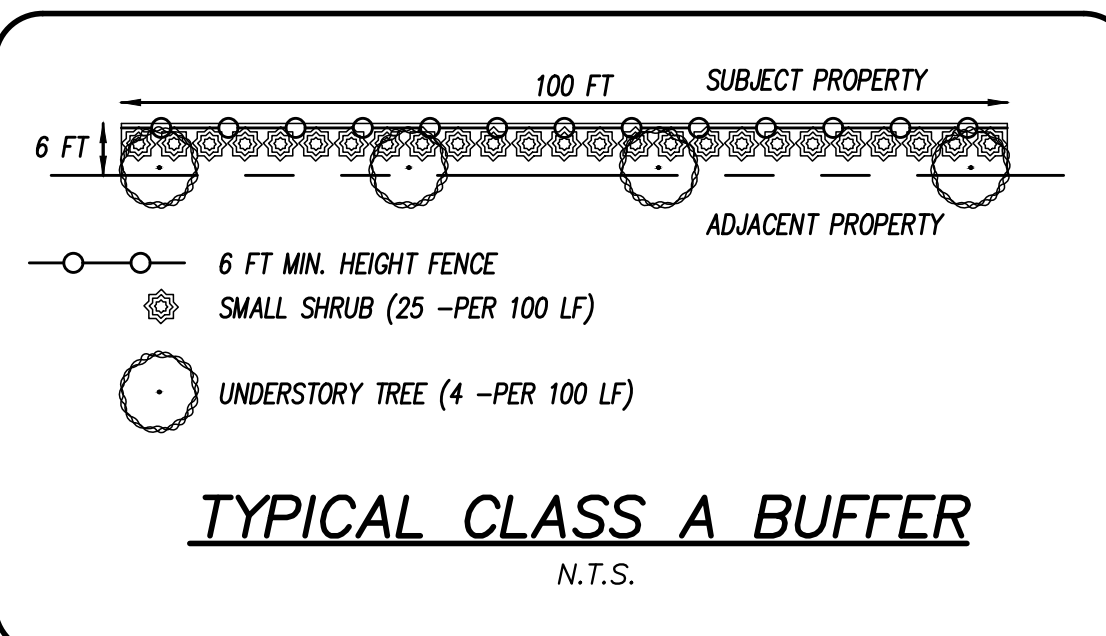
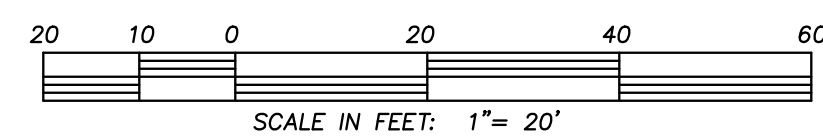
DATE: 2006
DRAWN BY: JSR
CHECKED BY: B.P., P.E.
SCALE: NOT TO SCALE

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SD 15-17

TREE SAVE/REMOVE:

- | | |
|------------------------------|------------------------------|
| 1. TREE SAVE: | 2. TREE REMOVE: |
| TREE 1: 6" ULMAS PARVIFOLIA | TREE 5: 8" LIGUSTRUM |
| TREE 2: 3" BRADFORD PEAR | TREE 10: 8" WILLOW OAK |
| TREE 3: 4" BRADFORD PEAR | TREE 11: TWIN 12" WILLOW OAK |
| TREE 4: 3" BRADFORD PEAR | |
| TREE 5: 5" ULMAS PARVIFOLIA | |
| TREE 6: 6" HOLLY | |
| TREE 7: 15" WILLOW OAK | |
| TREE 8: 50" WILLOW OAK | |
| TREE 9: 8" LIGUSTRUM | |
| TREE 12: 8" LIGUSTRUM | |
| TREE 13: 9" LIGUSTRUM | |
| TREE 14: 21" LIGUSTRUM | |
| TREE 15: 11" WILLOW OAK | |
| TREE 16: 9" WILLOW OAK | |
| TREE 17: 9" WILLOW OAK | |
| TREE 18: 15" WILLOW OAK | |
| TREE 19: 38" WILLOW OAK | |
| TREE 20: 5" ULMAS PARVIFOLIA | |



LANDSCAPE CALCULATIONS:

- STREET TREES:
1 STREET TREE FOR EVERY 30 LF
CASTLE STREET = 153 - 14 = 139 LF / 30 = 4.6
5 TREES REQUIRED
3 EXISTING TREES, 2 PROPOSED TREES
- TRANSITIONAL BUFFER SECTION 18-323
UMX AND R-3 REQUIRES A CLASS 'A' BUFFER
REQUIRED:
75 SHRUBS PER 100 LF
4 UNDERSTORY TREES PER LF
390 LF OF ADJACENT R-3 ZONING
390 / 100 = 3.9, 3.9 X 25 = 98 SHRUBS REQUIRED: 98 PROVIDED
390 / 100 = 3.9, 3.9 X 4 = 16 UNDERSTORY TREES REQUIRED: 10 NEW PROVIDED
EXISTING TREES IN BUFFER AREA TO BE UTILIZED TO MEET REQUIREMENTS
- FOUNDATION PLANNING 18-322
GROUND FLOOR BUILDING FACE ADJACENT TO PARKING MULTIPLIED BY 12%
(64 X 12) X 0.12 = 92 SF REQUIRED.
- TREE PRESERVATION SECTION 18-316(C)(4)(b)
22,584 SF (0.52 AC) OF DISTURBANCE
MINIMUM OF 15 TREES PER ACRE OF DISTURBANCE
8 TREES REQUIRED
15 TREES OVER 4" ARE BEING RETAINED ONSITE.

STREET TREES

QUANTITY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	CONTAINER	MINIMUM PLANTING SIZE	MINIMUM HEIGHT PLANTING SIZE	PLANTING REMARKS
2	(Symbol)	LLEX X A	PALATKA HOLLY	B & B		8 FT	CASLIE STREET

CLASS 'A' BUFFER

QUANTITY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	CONTAINER	MINIMUM PLANTING SIZE	MINIMUM HEIGHT PLANTING SIZE	PLANTING REMARKS
98	(Symbol)	MUHLBERGIA CAPILLARIS	PINK MUHLY	3 Gal.		18 INCHES	PARKING LOT
10	(Symbol)	ULMAS PARVIFOLIA	CHINESE ELM	B & B		8 FT	CASLIE STREET

PARKING LOT / FOUNDATION

QUANTITY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	CONTAINER	MINIMUM PLANTING SIZE	MINIMUM HEIGHT PLANTING SIZE	PLANTING REMARKS
4	(Symbol)	LLEX VOMITORIA	DWARF YAUPON	3 Gal.		18 INCHES	FOUNDATION
8	(Symbol)	LLEX VOMITORIA	DWARF YAUPON	3 Gal.		18 INCHES	PARKING LOT
2	(Symbol)	ULMAS PARVIFOLIA	CHINESE ELM	B & B		8 FT	PARKING LOT

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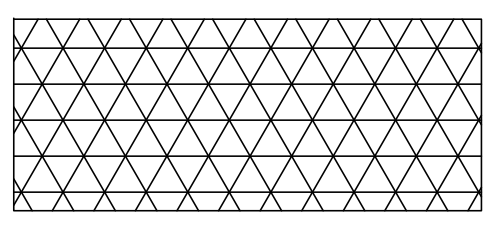
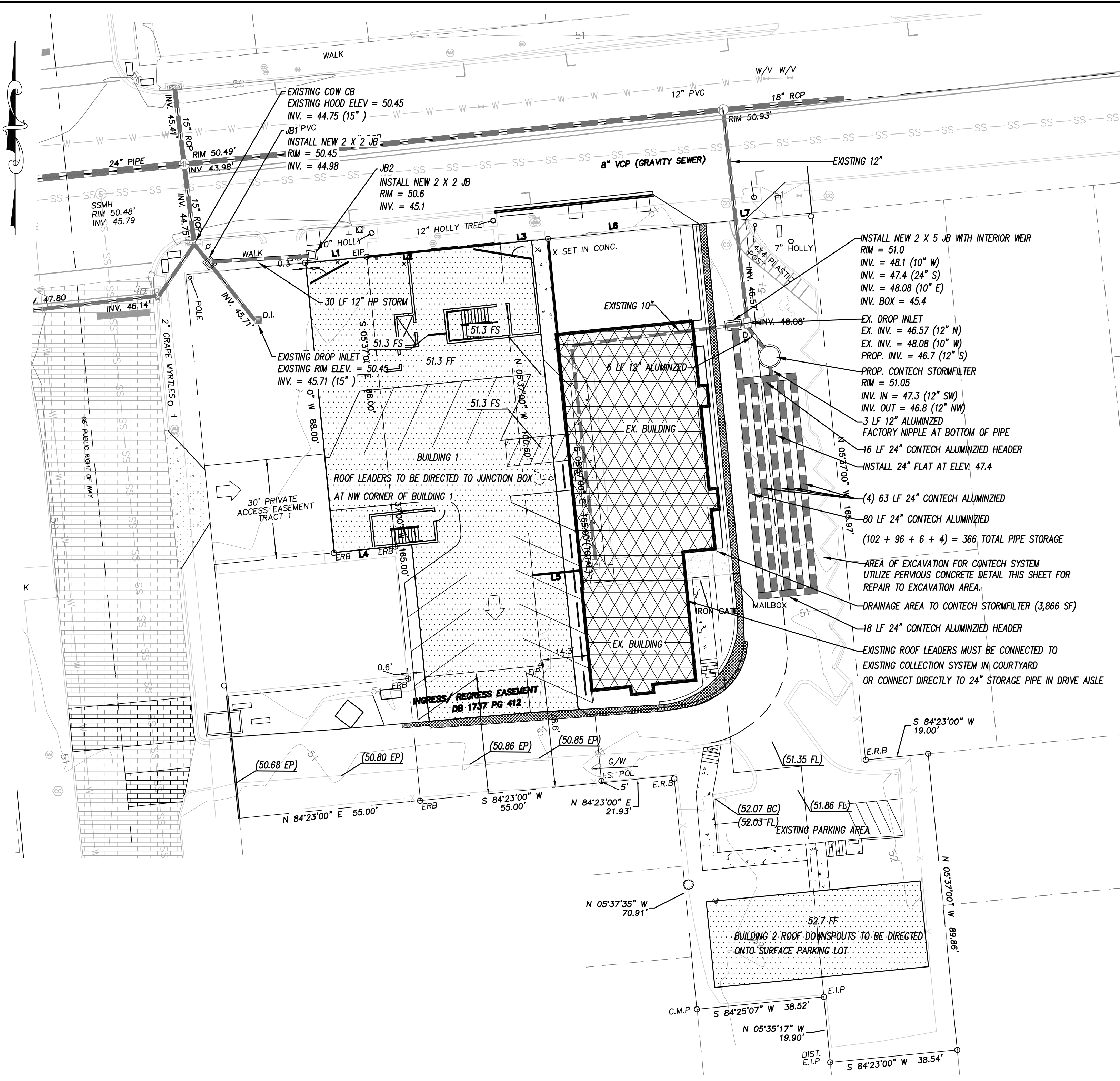
LANDSCAPE PLAN
THE 606

LANDSCAPE PLAN
THE 606
LOCATED IN CITY OF WILMINGTON
NEW HANCOCK COUNTY, NORTH CAROLINA
OWNER: RCG CASTLE STREET LLC
17 WALDO STREET SUITE 100
SUMMERVILLE, MA 02143

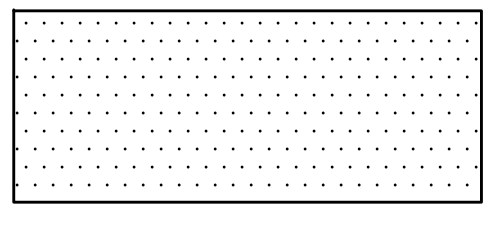
PRELIMINARY

REV.	DATE	BY	REMARKS
1	4-12-23	RLW	REVISED PER IRC COMMENTS

DATE: 3-1-23
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 22-0625
Sheet No. 5 of 11

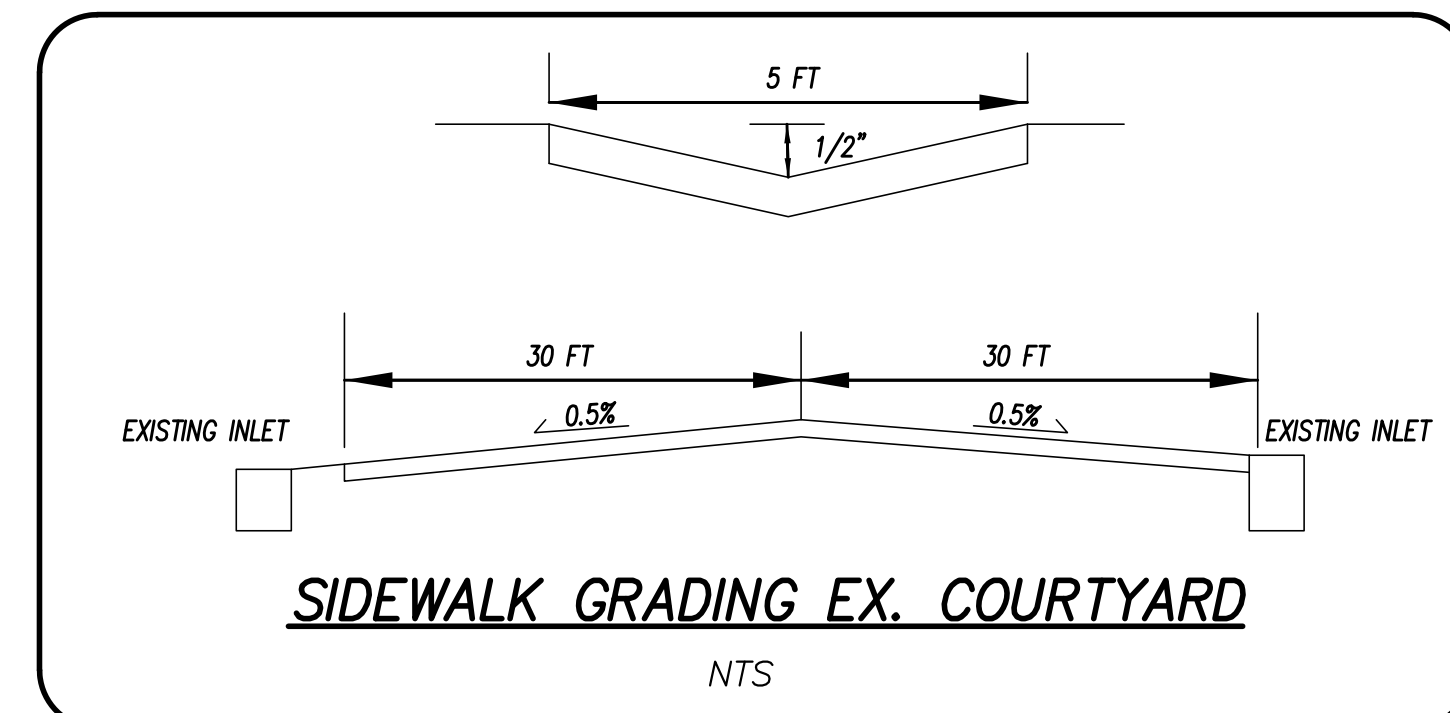
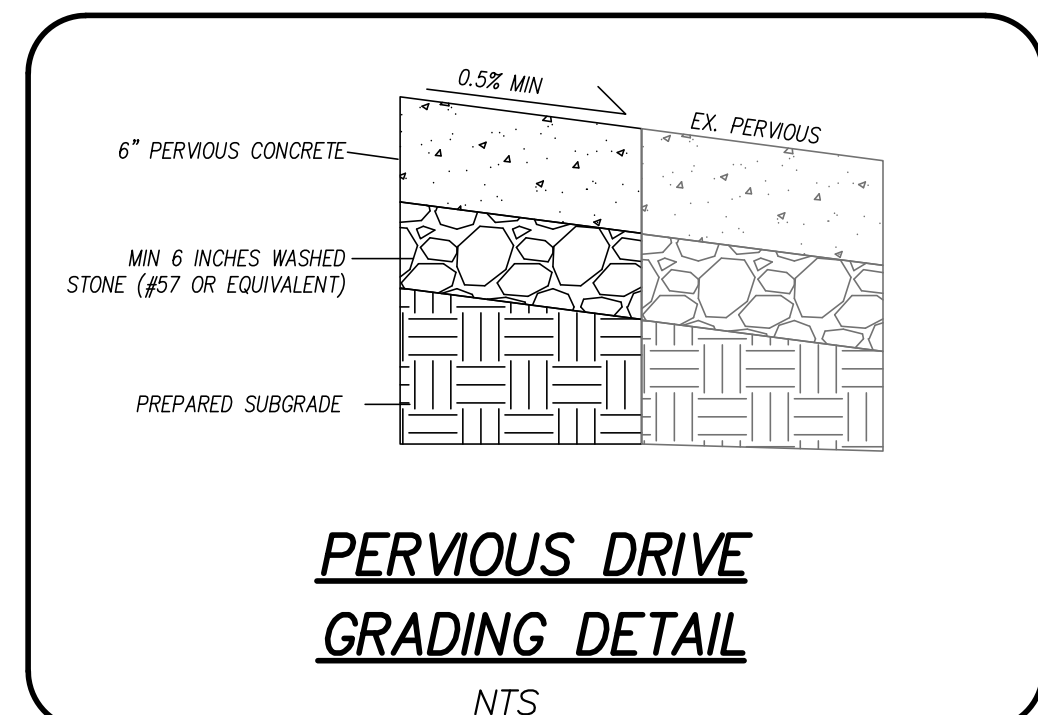
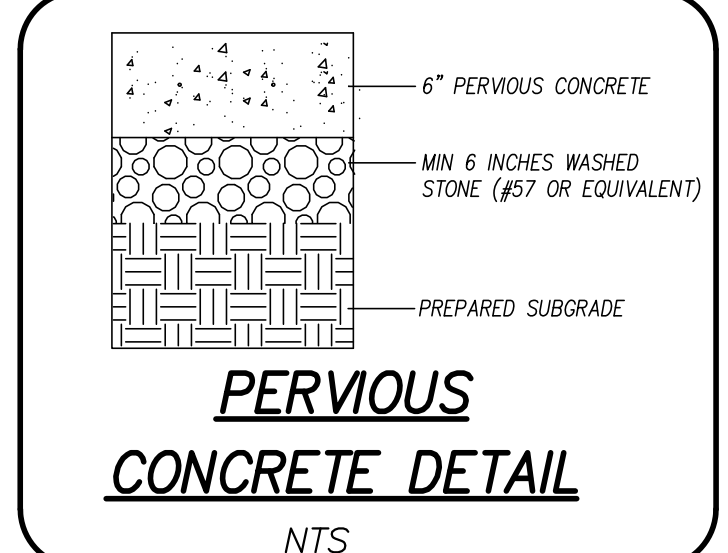
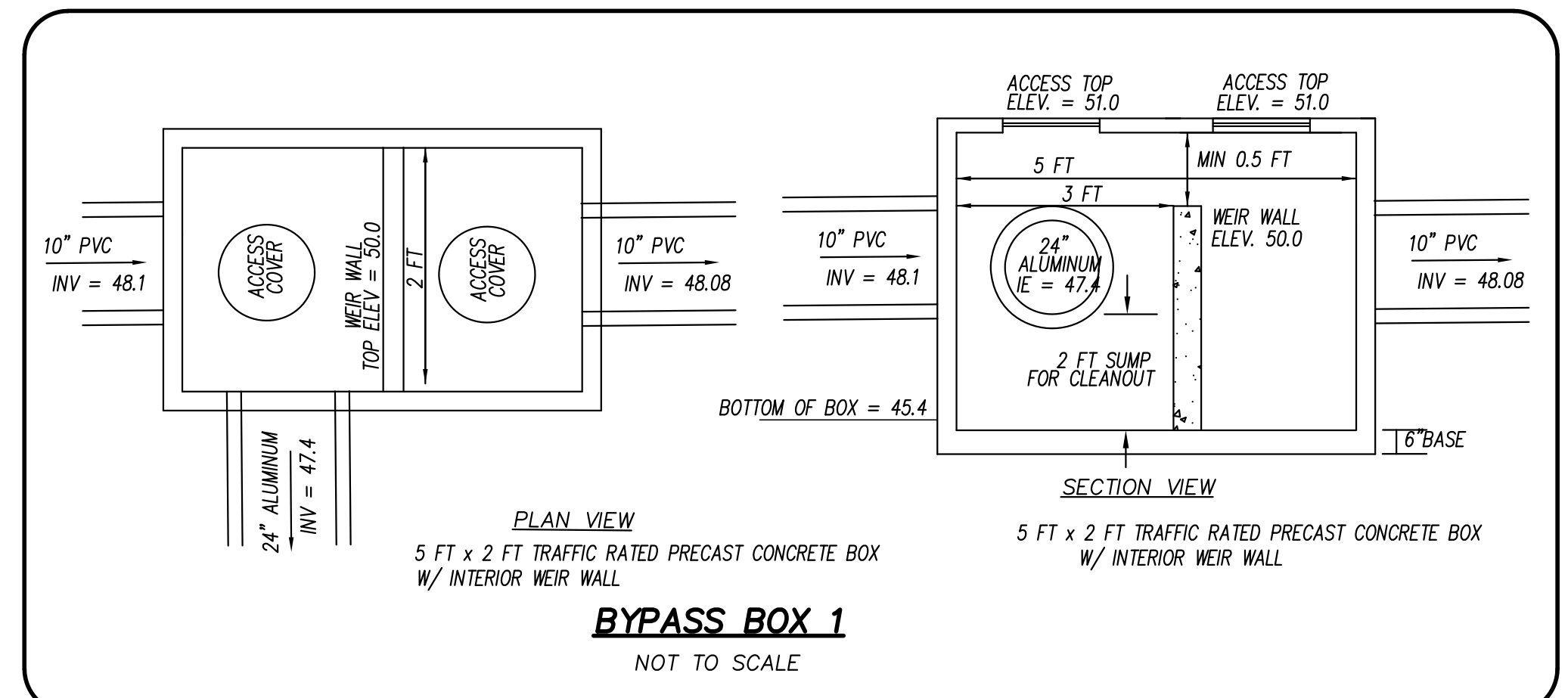


DRAINAGE AREA FOR STORMFILTER

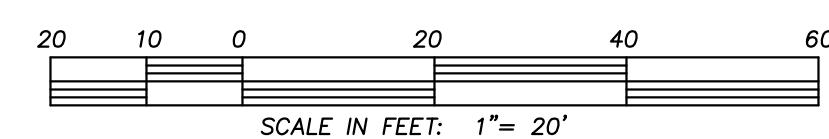


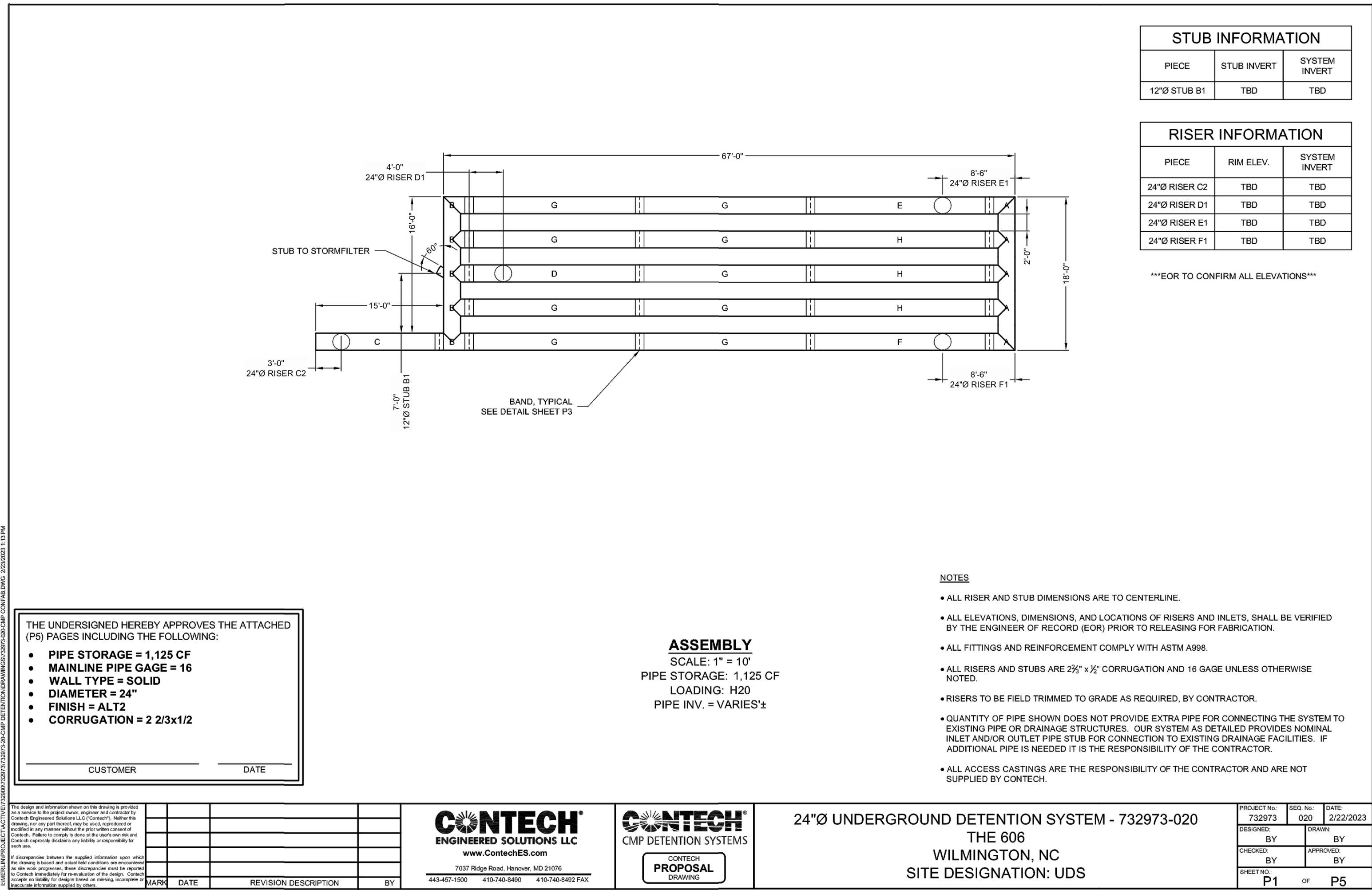
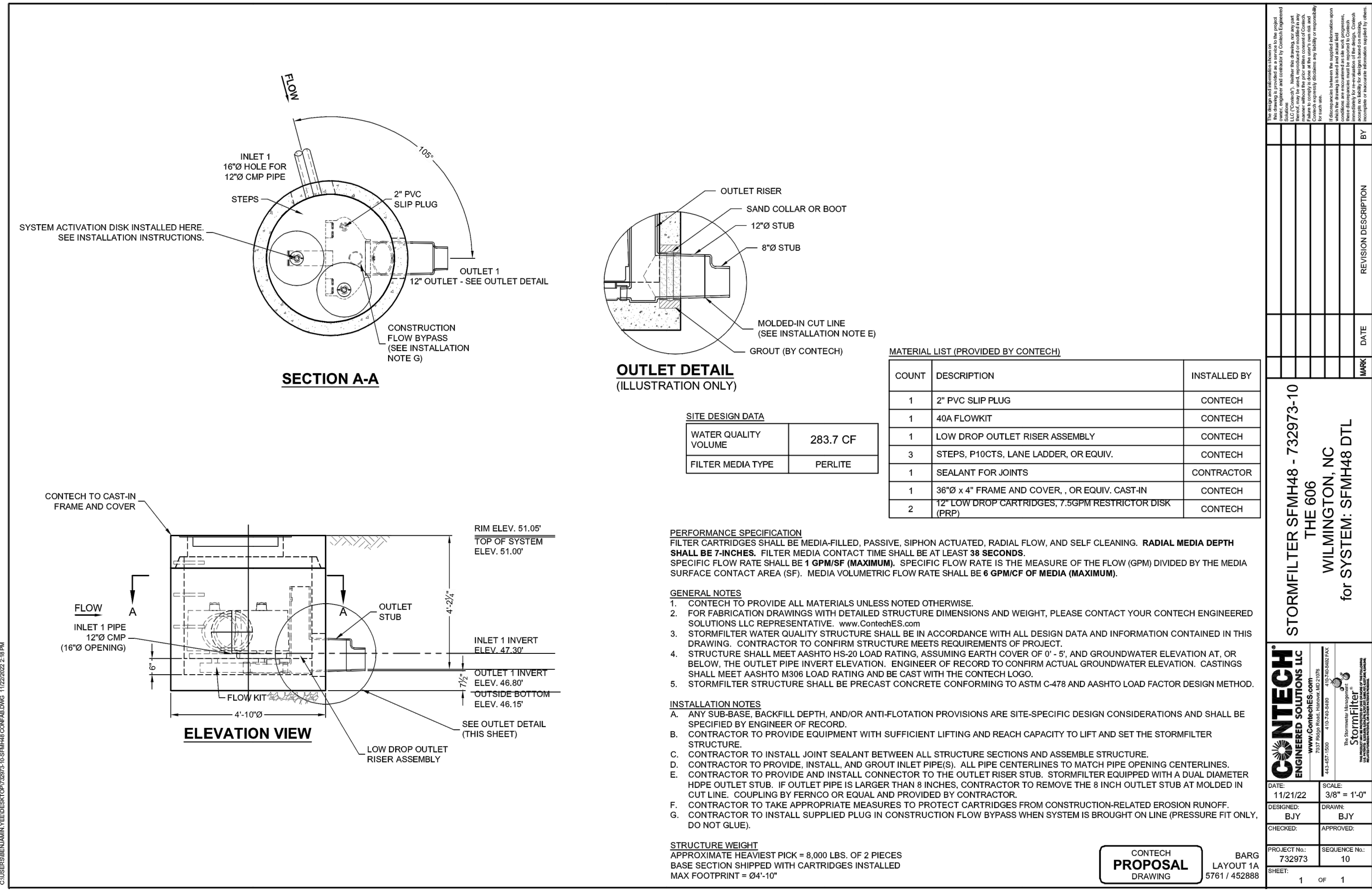
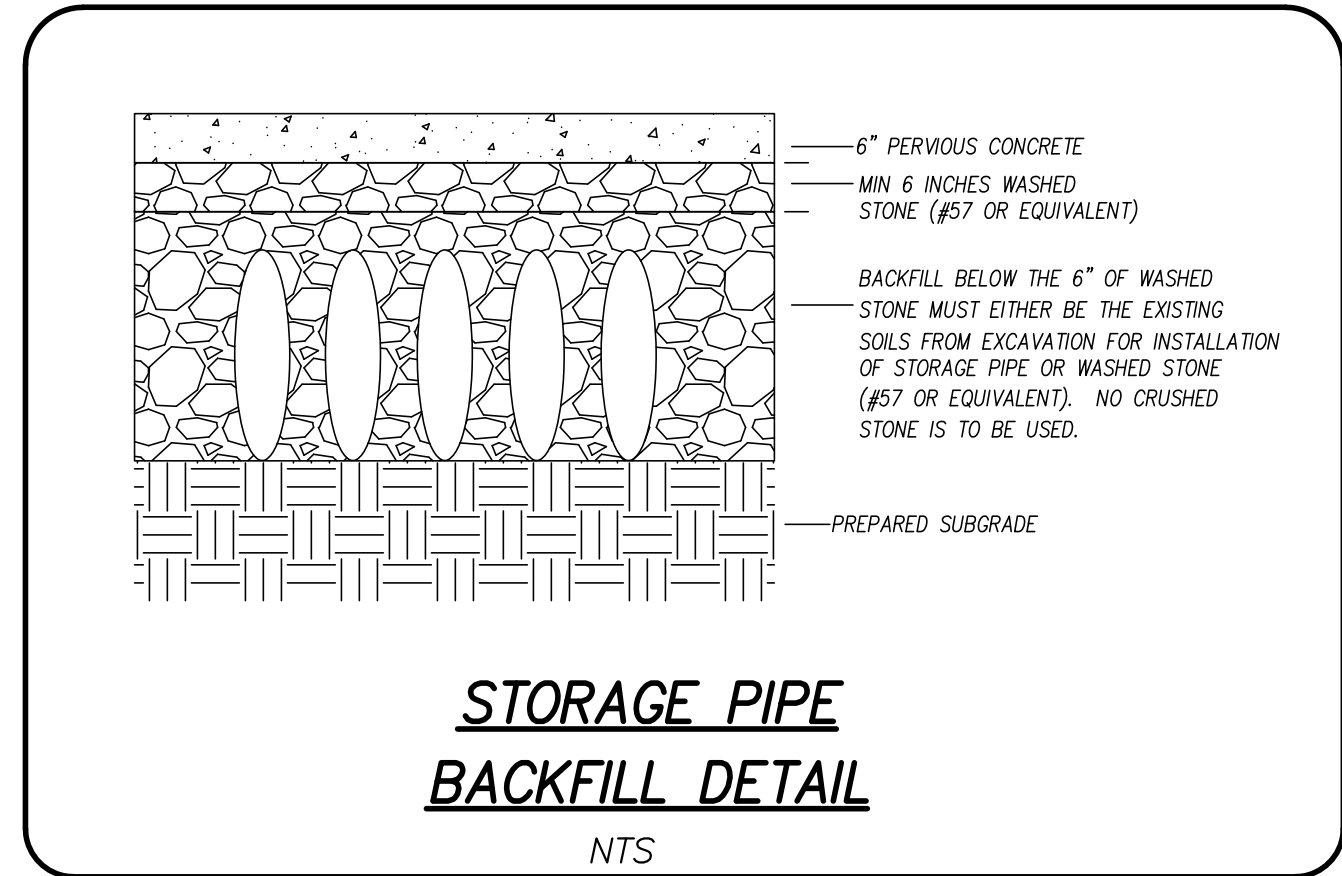
DRAINAGE AREA FOR BUILDING 1
ALL OF BUILDING 1 IS DIRECTED INTO JB AT NW CORNER OF BUILDING

EXISTING PERVIOUS CONCRETE ONSITE MUST BE RESTORED TO ORIGINAL CONDITION. RESTORED PERVIOUS MUST BE CERTIFIED AS FUNCTIONING PROPERLY BEFORE A BUILDING CO WILL BE ISSUED. ONCE ONSITE CONSTRUCTION HAS BEEN COMPLETED FOR ALL BUILDING AND UTILITY IMPROVEMENTS, THEN CONTRACTOR TO RESTORE THE PERVIOUS CONCRETE.



REV. NO.	BY	DATE	REMARKS
2	RLW	4-12-23	REVISED PER IRC COMMENTS
1	RLW	3-1-23	REVISED PER IRC COMMENTS





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STORMWATER PLAN THE 606

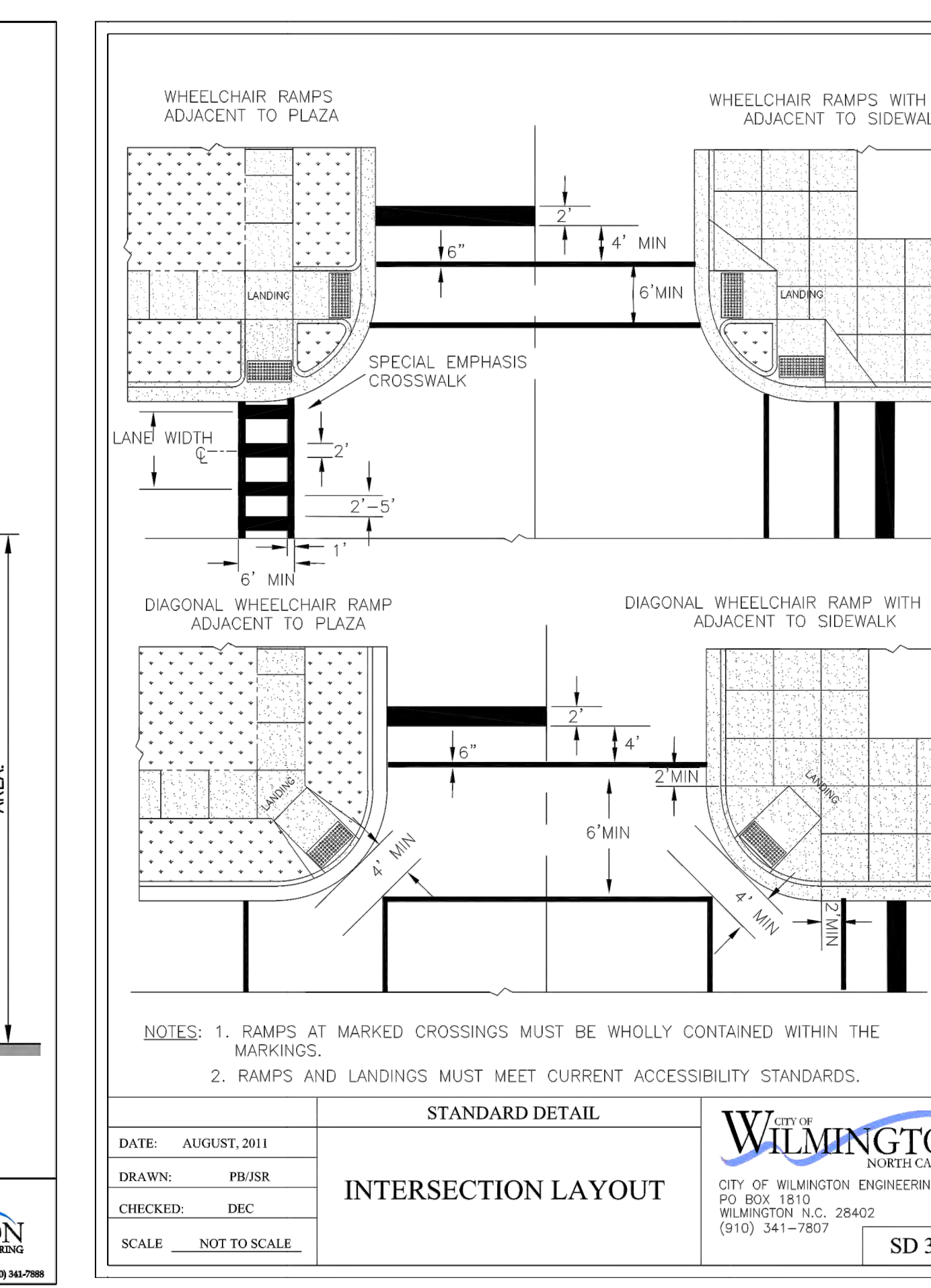
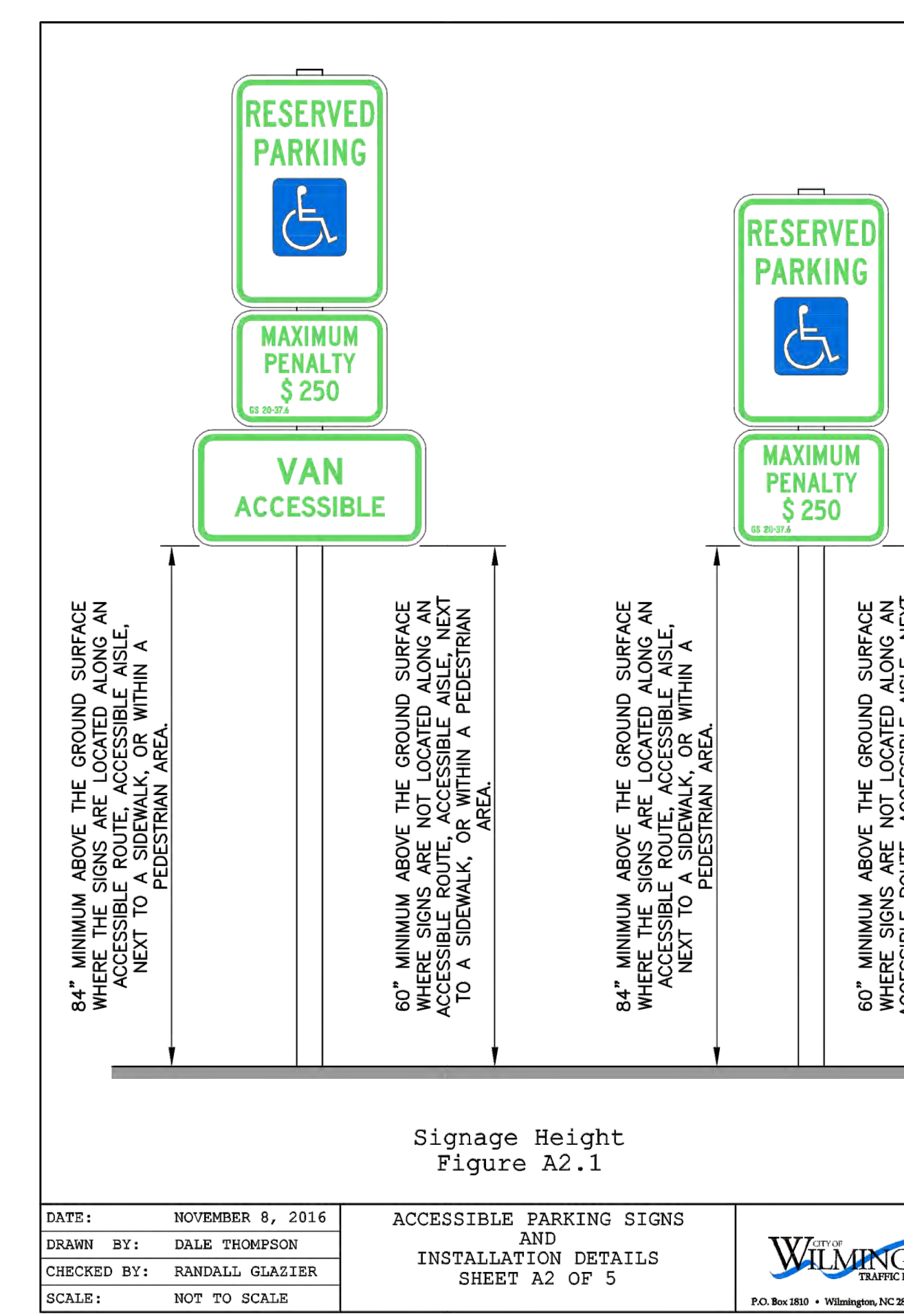
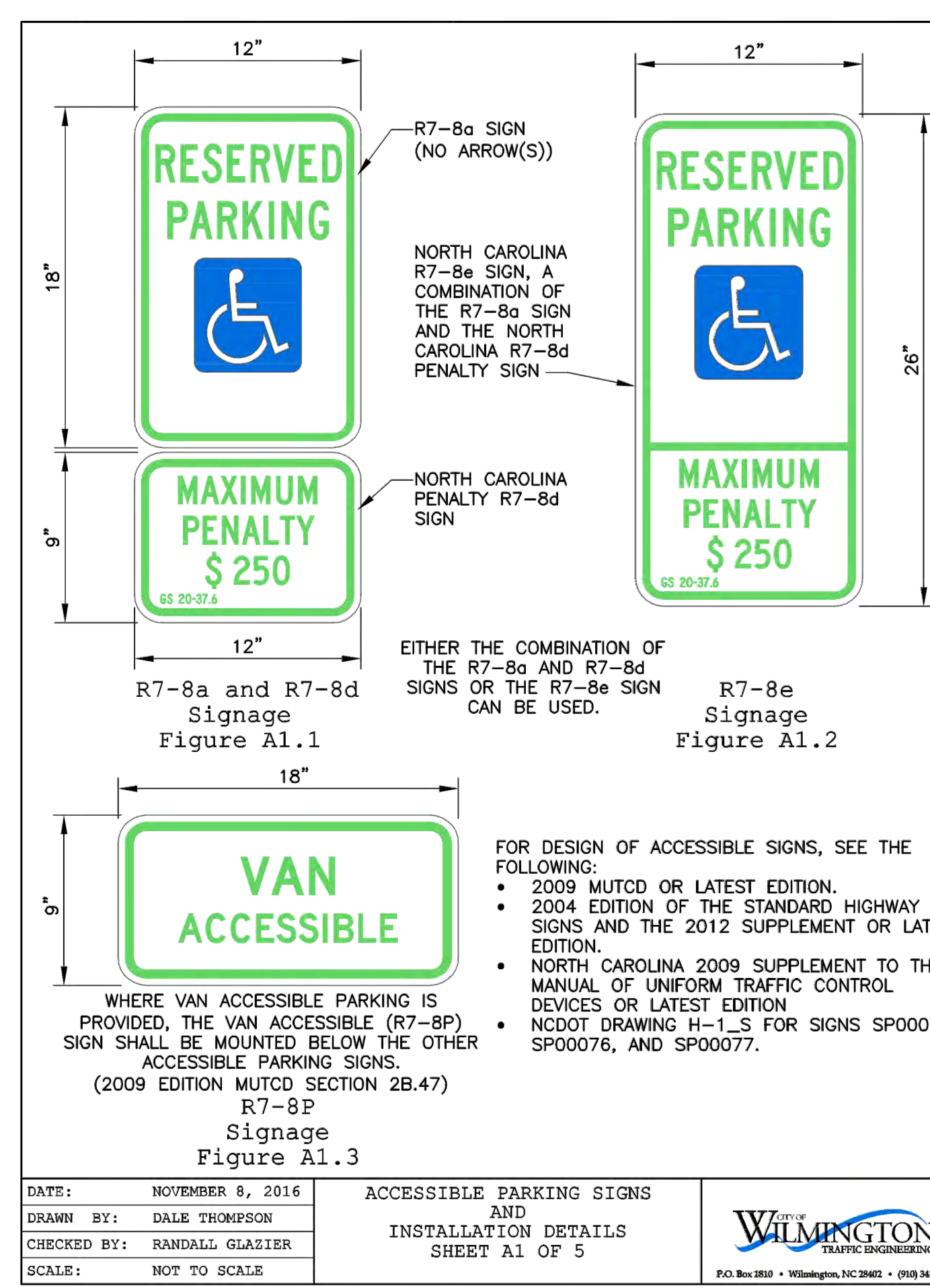
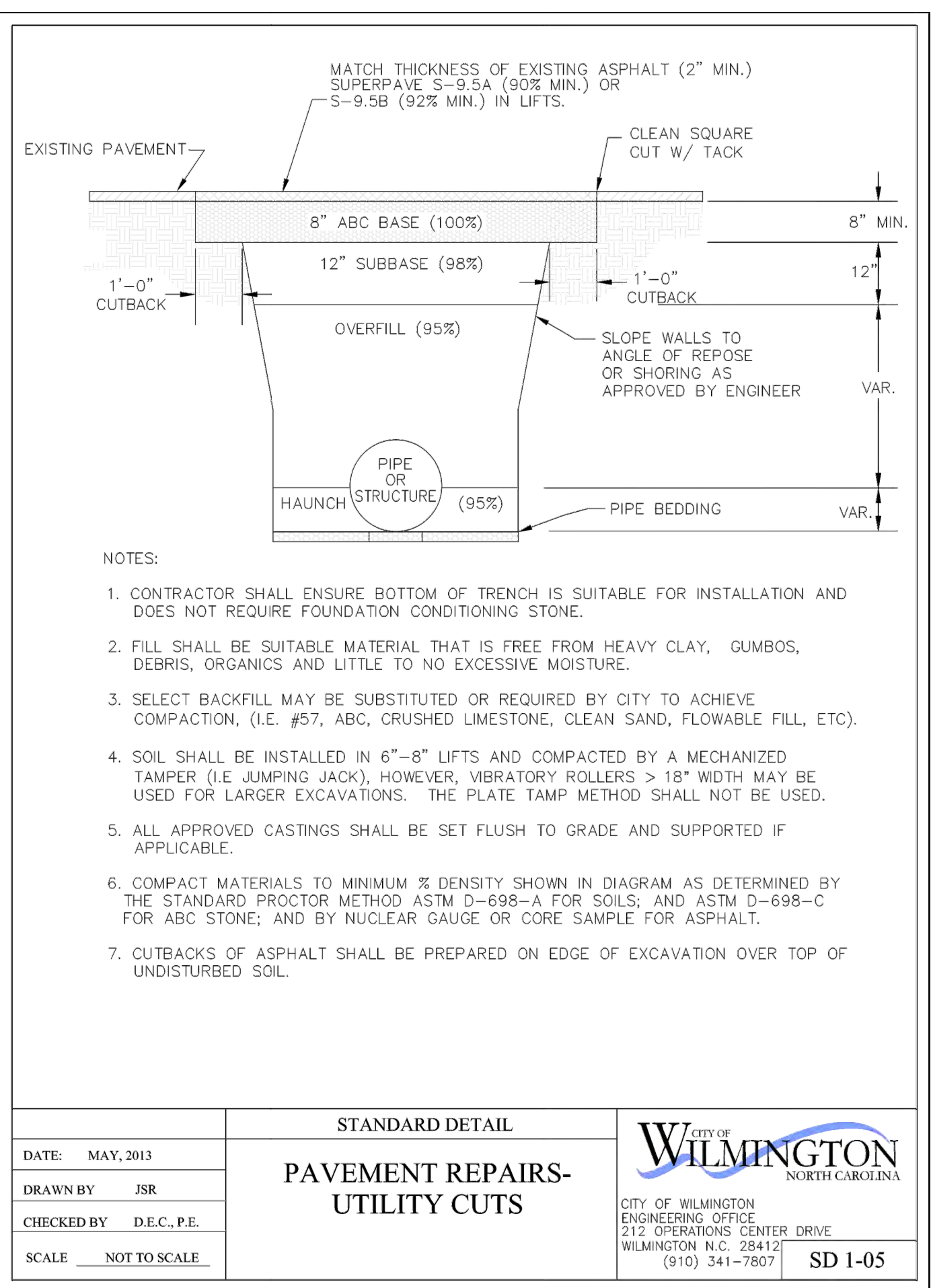
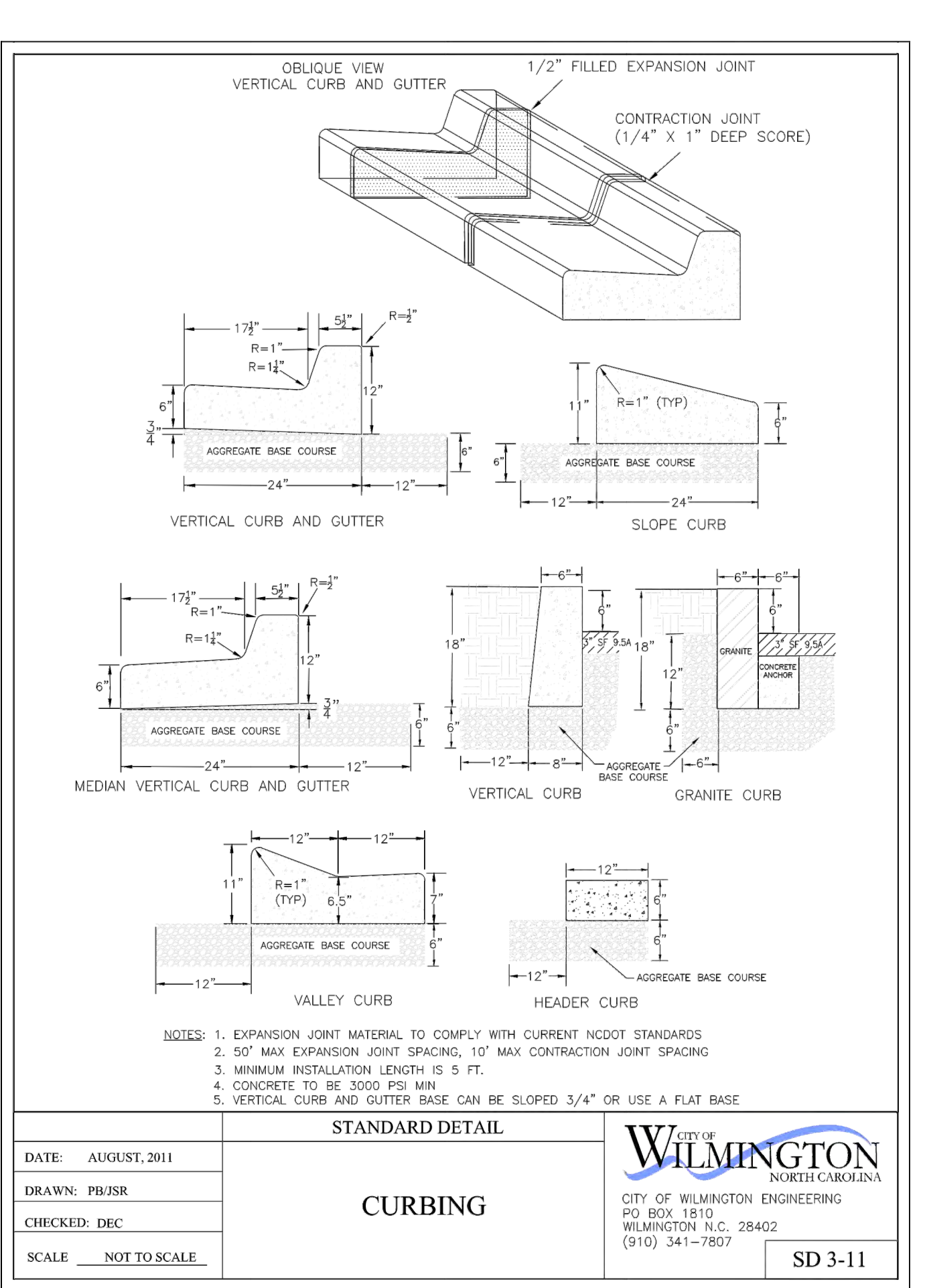
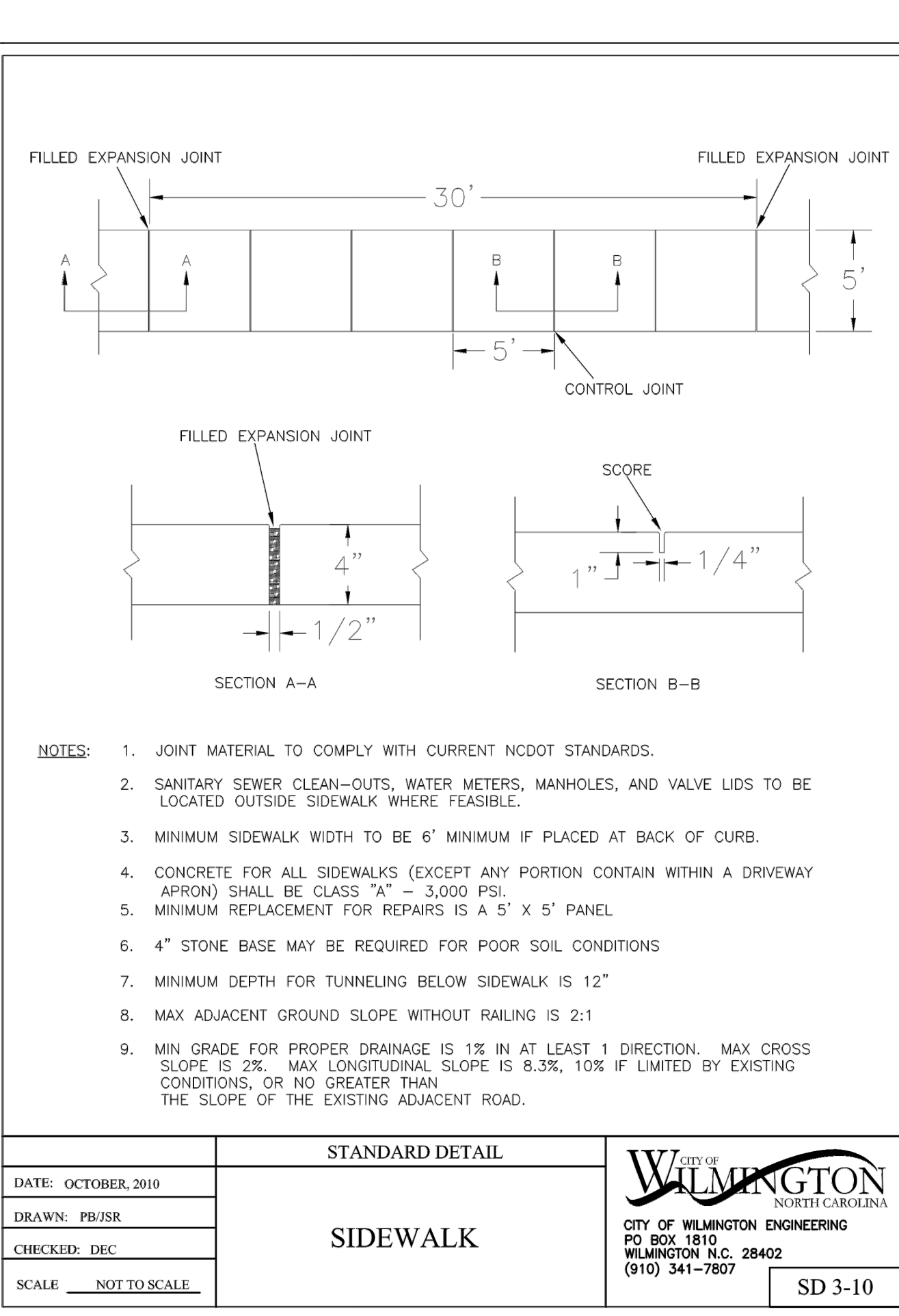
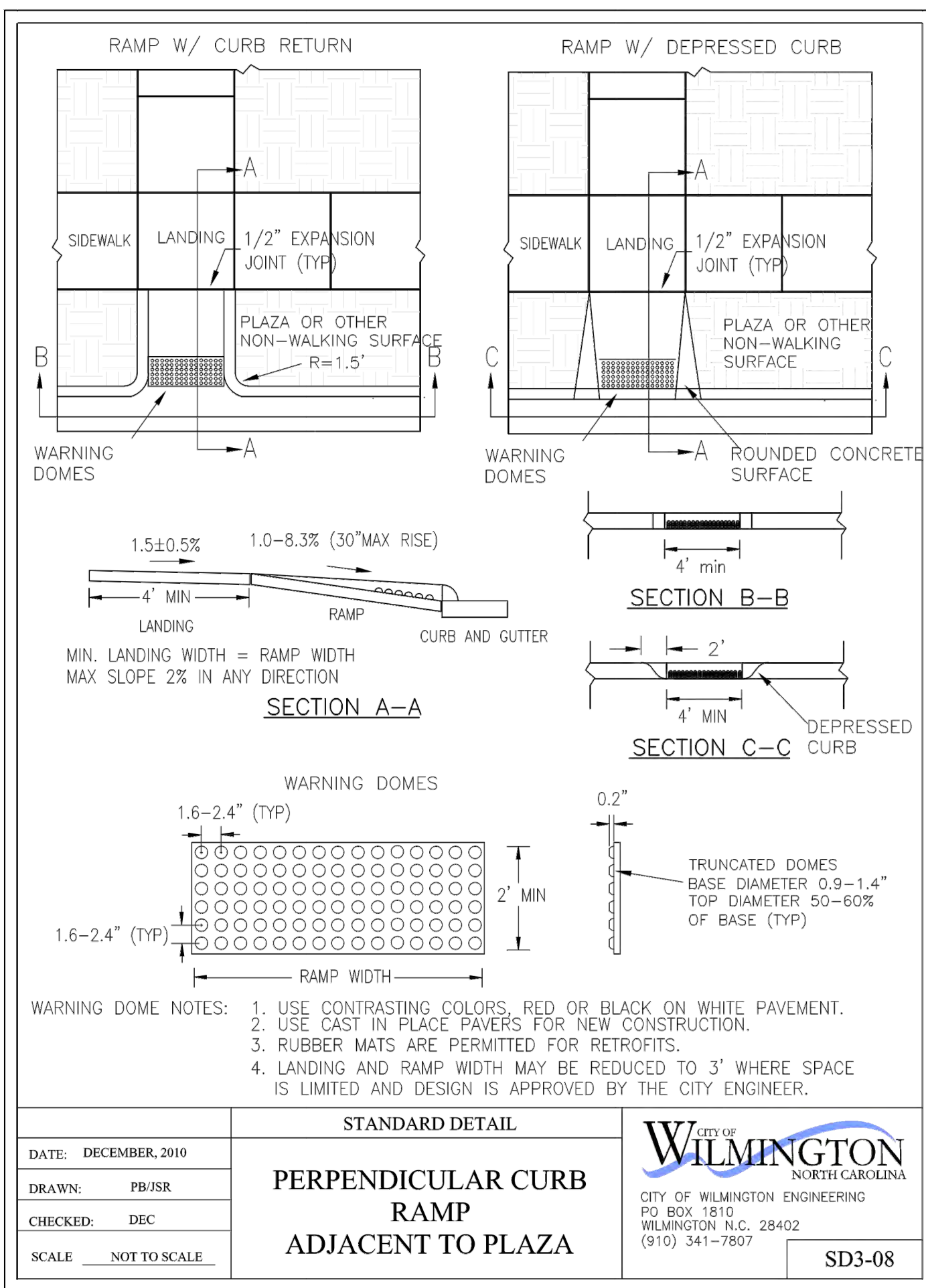
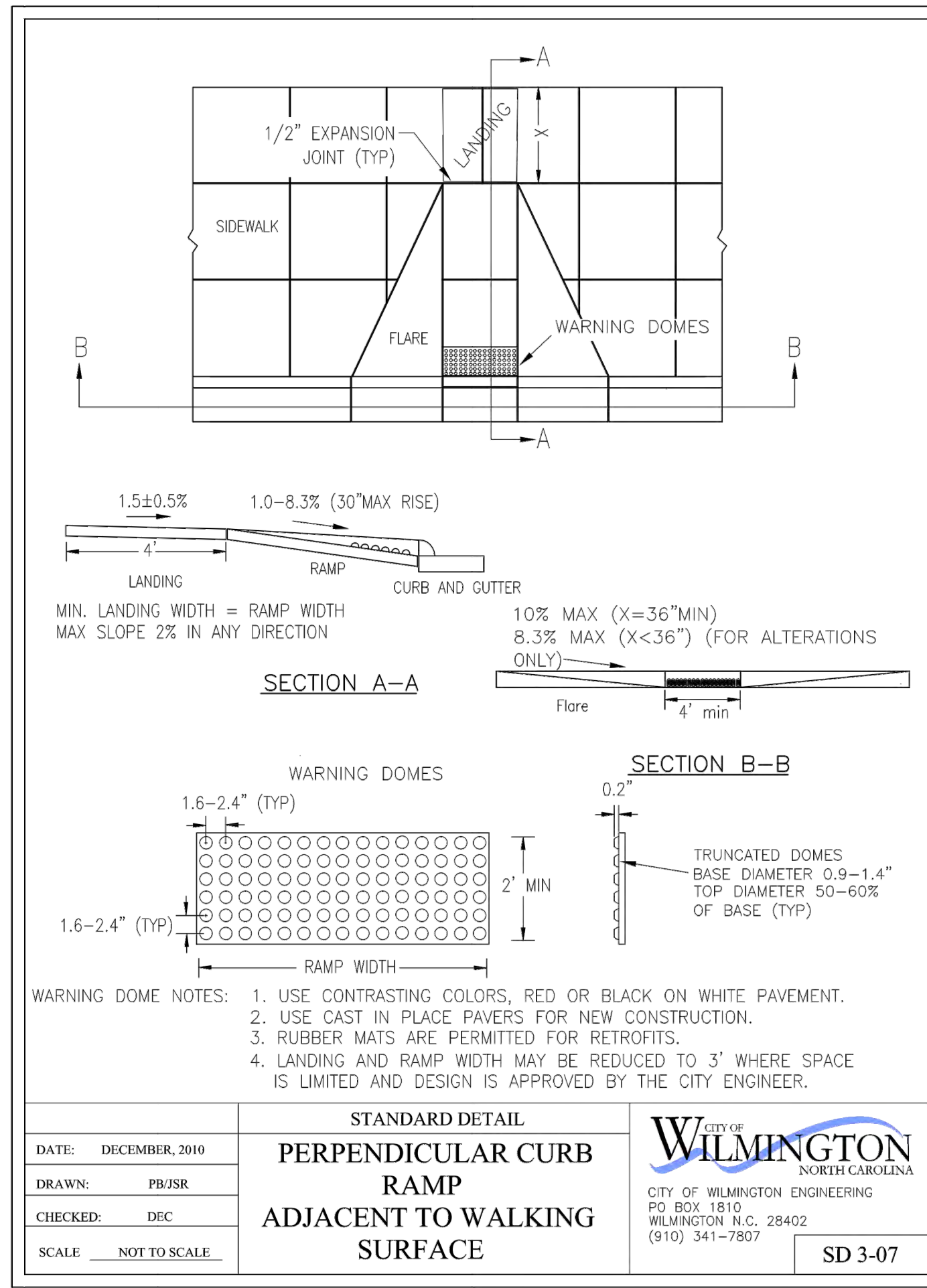
STORMWATER PLAN THE 606
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA
OWNER: RCG CASTLE STREET LLC
17 WALLOO STREET SUITE 100
SUMMERSVILLE, MA 02143

PRELIMINARY

REV. NO.	REVISION	DATE
3	REVISED PER ITR COMMENTS	4-12-23

DATE: 3-1-23
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RLW
CHECKED BY: HSR
PROJECT NO.: 22-0625

Sheet No. 7 of 11



REV. NO.	BY	DATE	REMARKS
1	RLW	3-1-23	

REV. NO.	BY	DATE	REVISION
1	RLW	3-1-23	REVISED SHEET NUMBER
			REMARKS

NOTE:
 THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.

NOTE:
 CROWN OF THE TREE IS NEEDED FOR LEAF GROWTH TO PRODUCE OXYGEN, FILTER THE AIR, REDUCE WIND AND SOFTEN NOISE. DO NOT DISFIGURE CROWN WITH INTENSIVE PRUNING.

CRZ
DBH
 3' MIN
 8' MAX
 ORANGE SAFETY FENCE OR ORANGE SILT FENCE (TYPICAL)

NOTES:
 1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
 4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.

STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
 SHEET 1 of 2

DATE: JAN, 2015
 DRAWN BY: JSR
 CHECKED BY: RDG, P.E.
 SCALE: NOT TO SCALE

CITY OF WILMINGTON
 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, NC 28402
 (910) 341-7807

SD 15-09

STANDARD DETAIL
COMMERCIAL DRIVEWAY SECTIONS
 2 of 2

DATE: JUNE 1, 2015
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE

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 CITY OF WILMINGTON ENGINEERING
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 WILMINGTON, N.C. 28402
 (910) 341-7807

SD 3-03.4

STANDARD DETAIL
COMMERCIAL DRIVEWAY PLAN
 1 of 2

DATE: JUNE 1, 2015
 DRAWN BY: JSR
 CHECKED BY: D.E.C., P.E.
 SCALE: NOT TO SCALE

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 NORTH CAROLINA
 CITY OF WILMINGTON ENGINEERING
 PO BOX 1810
 WILMINGTON, N.C. 28402
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SD 3-03.3

STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
 SHEET 2 of 2

DATE: JAN, 2015
 DRAWN BY: JSR
 CHECKED BY: RDG, P.E.
 SCALE: NOT TO SCALE

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 WILMINGTON, NC 28402
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SD 15-09

STANDARD DETAIL
CROSSWALK PAVEMENT MARKINGS
 2 of 2

DATE: FEBRUARY, 2012
 DRAWN BY: JSR
 CHECKED BY: BDR, P.E.
 SCALE: NOT TO SCALE

CITY OF WILMINGTON
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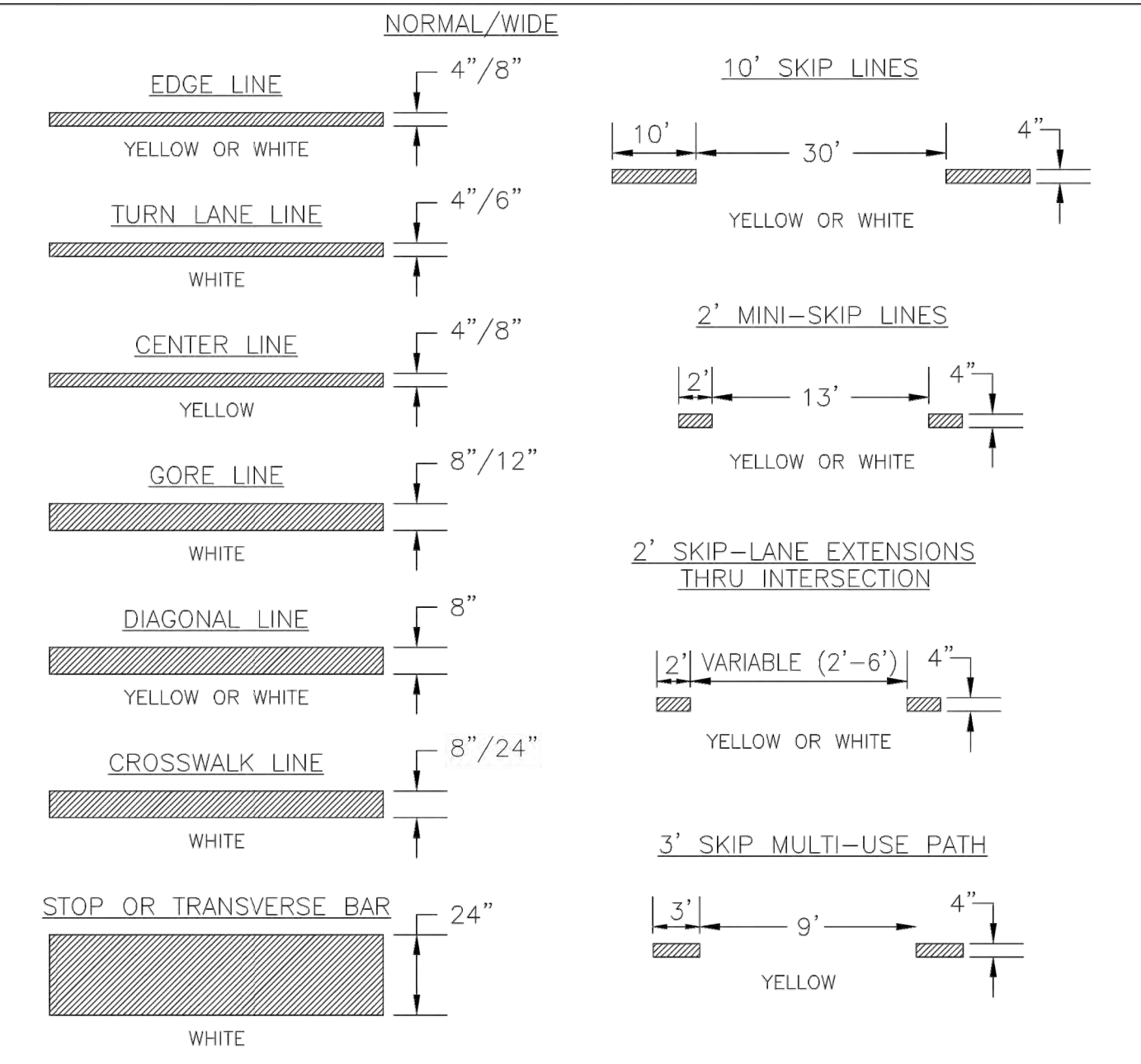
SD 11-11

STANDARD DETAIL
PAVEMENT MARKINGS LINE TYPES
 1 of 1

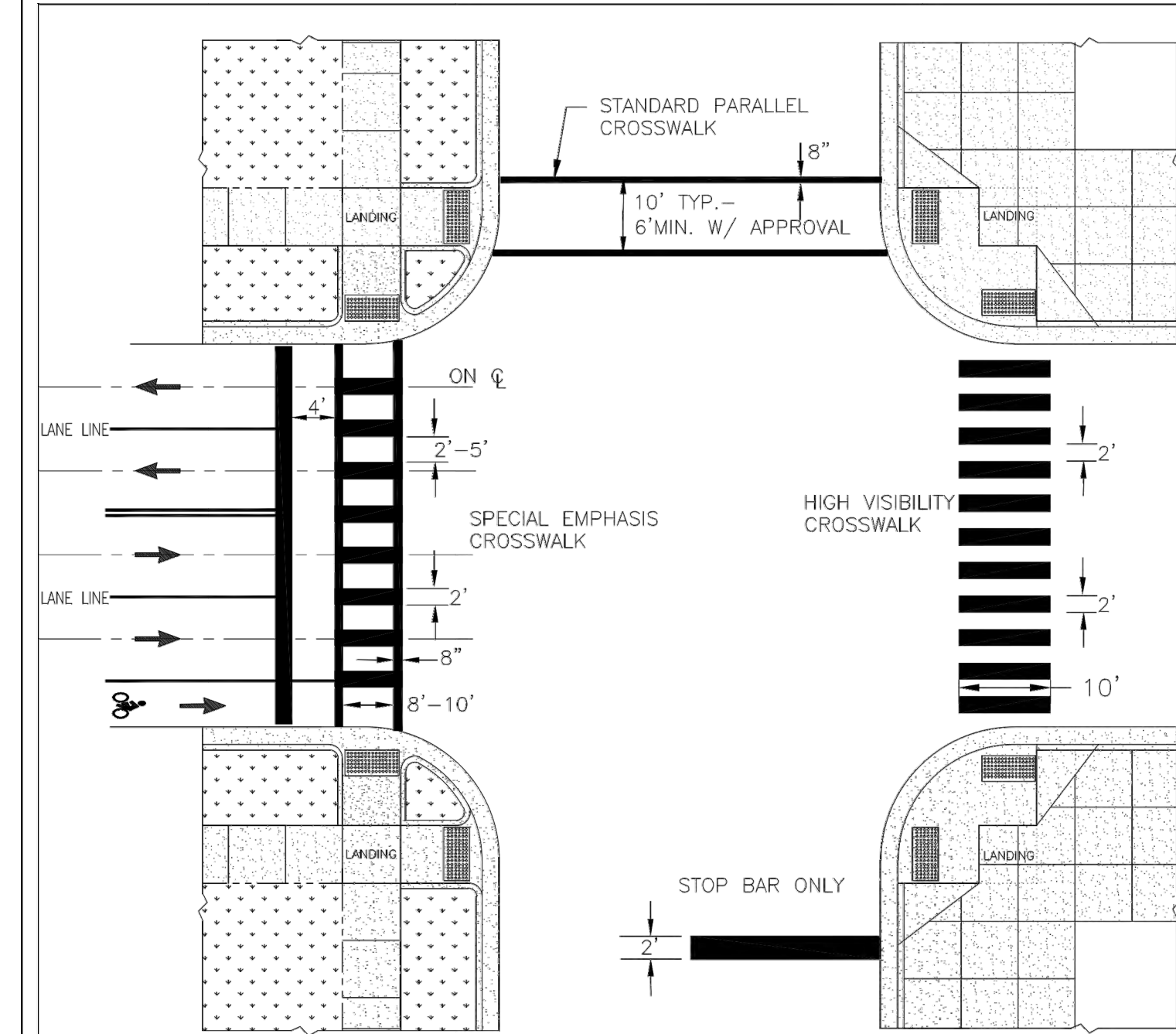
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 SCALE: NOT TO SCALE

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 (910) 341-7807

SD 11-01



- PAVEMENT MARKINGS AND SYMBOLS SHALL BE DESIGNED PER MUTCD WITH APPROVAL FROM CITY TRAFFIC ENGINEERING, AND INSTALLED IN ACCORDANCE WITH NCDOT DIVISION 12 SPECIFICATIONS.
- GENERALLY, PERMANENT MARKINGS WILL BE UNIFORM AND SMOOTH AND WILL CONSIST OF 120MIL OF THERMOPLASTIC FOR ALL LINES AND SYMBOLS; TEMPORARY MARKINGS SHALL CONSIST OF 15 MIL PAINT, EVERY 6 MONTHS.
- DURING APPLICATION THE EXISTING PAVEMENT SHALL NOT SHOW SIGNS OF MOISTURE AND BE CLEAN, FREE OF DIRT AND OIL, ETC. THERMOPLASTIC SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 50' F AND RISING. PAINT SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 40' F AND RISING.



- TYPICAL CROSSWALK DIMENSIONS ARE PROVIDED FOR REFERENCE. ALL APPLICATIONS SHALL CONSIDER PEDESTRIAN, BICYCLE AND TRAFFIC CONDITIONS AND ARE SUBJECT TO ADA GUIDELINES AND MATERIAL SPECIFICATIONS. LAYOUTS SHALL BE DIRECTED BY THE ENGINEER.
- GENERALLY, STANDARD PARALLEL CROSSWALKS TO BE USED AT SIGNALIZED INTERSECTIONS OR WHERE CROSSWALK TRAFFIC OR CONFLICT POINTS ARE AVERAGE. SPECIAL EMPHASIS CROSSWALKS AND HIGH VISIBILITY CROSSWALKS ARE NEEDED AT BUSY SIGNALIZED INTERSECTIONS AND WHERE BICYCLE AND PEDESTRIAN TRAFFIC REQUIRES INCREASED VISIBILITY.